ISSUED FOR CONSTRUCTION

YORK REGION ADMINISTRATIVE CENTRE

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

DRAWING LIST

INTERIOR DESIGN

ID0.00 COVER
ID0.01 GENERAL NOTES AND SYMBOLS LEGEND
ID0.02 GENERAL NOTES AND ASSEMBLIES
ID0.03.0 BUILDING CODE ANALYSIS AND SITE PLAN
ID0.03.1 KEY PLANS
ID0.03.2 GROUND FLOOR LIFE AND SAFETY PLAN
ID0.03.3 SECOND FLOOR LIFE AND SAFETY PLAN
ID0.03.4 THIRD FLOOR LIFE AND SAFETY PLAN
ID0.03.5 FOURTH FLOOR LIFE AND SAFETY PLAN [RES.]
ID0.04 DOOR SCHEDULE
ID0.05 FINISHES SCHEDULE
ID0.06 EQUIPMENT & MILLWORK SCHEDULE
ID0.07 DETAILS
ID1.01 DEMOLITION PLAN GROUND FLOOR PARTIAL
ID1.02 DEMOLITION PLAN GROUND FLOOR PARTIAL
ID1.03 DEMOLITION PLAN 2ND FL PARTIAL
ID1.04 DEMOLITION PLAN 2ND FL PARTIAL
ID1.05 DEMOLITION PLAN 3RD FL PARTIAL
ID1.11 DEMOLITION RCP GROUND FLOOR PARTIAL
ID1.12 DEMOLITION RCP 2ND FL PARTIAL
ID1.13 DEMOLITION RCP 2ND FL PARTIAL
ID1.14 DEMOLITION RCP 3RD FL PARTIAL
ID2.01 PARTITION PLAN GROUND FLOOR PARTIAL
ID2.02 PARTITION PLAN GROUND FLOOR PARTIAL
ID2.03 PARTITION PLAN 2ND FL PARTIAL
ID2.04 PARTITION PLAN 2ND FL PARTIAL
ID2.05 PARTITION PLAN 3RD FL PARTIAL
ID3.01 REFLECTED CEILING PLAN GROUND FL PARTIAL
ID3.02 REFLECTED CEILING PLAN 2ND FL PARTIAL
ID3.03 REFLECTED CEILING PLAN 2ND FL PARTIAL
ID3.04 REFLECTED CEILING PLAN 3RD FL PARTIAL
ID4.01 FLOOR FINISHES PLAN GROUND FL PARTIAL
ID4.02 FLOOR FINISHES PLAN GROUND FL PARTIAL
ID4.03 FLOOR FINISHES PLAN 2ND FL PARTIAL
ID4.04 FLOOR FINISHES PLAN 2ND FL PARTIAL
ID4.05 FLOOR FINISHES PLAN 3RD FL PARTIAL
ID4.11 WALL FINISHES PLAN GROUND FL PARTIAL
ID4.12 WALL FINISHES PLAN GROUND FL PARTIAL
ID4.13 WALL FINISHES PLAN 2ND FL PARTIAL
ID4.14 WALL FINISHES PLAN 2ND FL PARTIAL
ID4.15 WALL FINISHES PLAN 3RD FL PARTIAL
ID5.01 POWER & COMMS. PLAN GROUND FL PARTIAL
ID5.02 POWER & COMMS. PLAN GROUND FL PARTIAL
ID5.03 POWER & COMMS. PLAN 2ND FL PARTIAL
ID5.04 POWER & COMMS. PLAN 2ND FL PARTIAL
ID5.05 POWER & COMMS. PLAN 3RD FL PARTIAL
ID6.01 FURNITURE, FIXTURES & EQUIPMENT PLAN GROUND FL PARTIAL
ID6.02 FURNITURE, FIXTURES & EQUIPMENT PLAN GROUND FL PARTIAL
ID6.03 FURNITURE, FIXTURES & EQUIPMENT PLAN 2ND FL PARTIAl
ID6.04 FURNITURE, FIXTURES & EQUIPMENT PLAN 2ND FL PARTIAL
ID6.05 FURNITURE, FIXTURES & EQUIPMENT PLAN 3RD FL PARTIAL
ID7.01 MILLWORK DETAILS
ID7.02 MILLWORK DETAILS
ID7.03 MILLWORK DETAILS
ID7.04 MILLWORK DETAILS AND ELEVATIONS
ID8.01 MILLWORK SECTIONS
ID9.01 STAGE EXPANSION - STAGE CALLOUT
ID9.02 STAGE EXPANSION - STAGE ELEVATION
ID9.03 STAGE EXPANSION - MILLWORK DETAILS
ID9.04 STAGE EXPANSION - AV DESK & TV WALL DETAILS
ID9.05 STAGE EXPANSION - AV DESK MILLWORK SECTIONS
ID9.06 STAGE EXPANSION TV WALL ELEVATION
ID9.07 STAGE EXPANSION COUNTER DETAILS

MECHANICAL

M-000 COVER PAGE
M-100 KEY PLANS
M-101 MECHANICAL LEGEND & DRAWING LIST
M-102 MECHANICAL SCHEDULES
M-103 PIPING SCHEMATIC DIAGRAM
M-104 PIPING SCHEMATIC DIAGRAM
M-105 MECHANICAL DETAILS
M-106 MECHANICAL DETAILS
M-107 MECHANICAL DETAILS
M-108 MECHANICAL DETAILS
M-109 MECHANICAL DETAILS
M-200 PARTIAL BASEMENT CEILING SPACE AT BLOCK 'B' & 'C' - MECHANICAL DEMOLITION PLAN
M-201 PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - HVAC DEMOLITION PLAN
M-202 PARTIAL GROUND FLOOR CEILING SPACE AT BLOCK 'D' - MECHANICAL DEMOLITION PLAN
M-203 PARTIAL SECOND BLOCK 'D' - HVAC DEMOLITION PLAN
M-204 PARTIAL SECOND FLOOR CEILING SPACE AT BLOCK 'B' - MECHANICAL DEMOLITION PLAN
M-205 PARTIAL THIRD FLOOR AT BLOCK 'B' - HVAC DEMOLITION PLAN
M-206 PARTIAL BASEMENT CEILING SPACE AT BLOCK 'B' & 'C' - MECHANICAL NEW LAYOUT
M-207 PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - HVAC NEW LAYOUT
M-208 PARTIAL GROUND FLOOR CEILING SPACE AT BLOCK 'D' - MECHANICAL NEW LAYOUT
M-209 PARTIAL SECOND FLOOR BLOCK 'D' - HVAC NEW LAYOUT
M-210 PARTIAL SECOND FLOOR CEILING SPACE AT BLOCK ' B' - MECHANICAL NEW LAYOUT
M-211 PARTIAL THIRD FLOOR AT BLOCK 'B' - HVAC NEW LAYOUT
M-212 PARTIAL THIRD FLOOR CEILING SPACE AT BLOCK 'B' & 'C' - MECHANICAL PRE-PHASE 1 LAYOUT
M-213 PARTIAL FOURTH FLOOR AT BLOCK 'B' & 'C' - HVAC PRE-PHASE 1 LAYOUT
M-214 PARTIAL THIRD FLOOR CEILING SPACE AT BLOCK 'B' & 'C' - MECHANICAL PHASE 1 DEMOLITION PLAN
M-215 PARTIAL FOURTH FLOOR AT BLOCK 'B' & 'C' - HVAC PHASE 1 DEMOLITION PLAN
M-300 PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-301 PARTIAL SECOND FLOOR BLOCK 'D' - PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-302 PARTIAL THIRD FLOOR AT BLOCK 'D' - PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-303 PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - PLUMBING AND FIRE PROTECTION NEW LAYOUT
M-304 PARTIAL SECOND FLOOR AT BLOCK 'D' - PLUMBING AND FIRE PROTECTION NEW LAYOUT
M-305 PARTIAL THIRD FLOOR AT BLOCK 'B' - PLUMBING AND FIRE PROTECTION NEW LAYOUT
M-400 AND FIRE PROTECTION PHASE 2 DEMOLITION PLAN PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - HYDRONIC NEW LAYOUT
M-401 PARTIAL SECOND FLOOR AT BLOCK 'D' - HYDRONIC NEW LAYOUT
M-402 PARTIAL THIRD FLOOR AT BLOCK 'B' - HYDRONIC NEW LAYOUT
M-500 PARTIAL GROUND FLOOR AT BLOCK 'B' & 'C' - CONTROLS NEW LAYOUT
M-501 PARTIAL SECOND FLOOR AT BLOCK 'D' - CONTROLS NEW LAYOUT
M-502 PARTIAL THIRD FLOOR AT BLOCK 'B' - CONTROLS NEW LAYOUT

ELECTRICAL

TE-0.1 ELECTRICAL DRAWING LIST AND LEGEND
TE-0.2 ELECTRICAL LEGEND AND DETAIL
TE-0.3 ELECTRICAL DETAILS
TE-0.4 ELECTRICAL DETAILS
TE-0.5 ELECTRICAL DETAILS
TE-0.6 ELECTRICAL DETAILS
TE-0.7 PANEL SCHEDULES
TE-0.8 PANEL SCHEDULES
TE-1.1 PARTIAL GROUND FLOOR LIGHTING & FIRE ALARM LAYOUT
TE-1.2 PARTIAL GROUND FLOOR POWER & SYSTEMS LAYOUT
TE-1.3 PARTIAL GROUND FLOOR LIGHTING & FIRE ALARM DEMOLITION LAYOUT
TE-1.4 PARTIAL GROUND FLOOR POWER & SYSTEMS DEMOLITION LAYOUT
TE-1.1A PARTIAL GROUND FLOOR ELECTRICAL LAYOUT
TE-2.1A PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM LAYOUT
TE-2.2A PARTIAL SECOND FLOOR POWER & SYSTEMS LAYOUT
TE-2.3A PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM DEMOLITION LAYOUT
TE-2.4A PARTIAL SECOND FLOOR POWER & SYSTEMS DEMOLITION LAYOUT
TE-2.1B PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM LAYOUT
TE-2.2B PARTIAL SECOND FLOOR POWER & SYSTEMS LAYOUT
TE-2.3B PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM DEMOLITION LAYOUT
TE-2.4B PARTIAL SECOND FLOOR POWER & SYSTEMS DEMOLITION LAYOUT
TE-2.1C PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM LAYOUT
TE-2.2C PARTIAL SECOND FLOOR POWER & SYSTEMS LAYOUT
TE-2.3C PARTIAL SECOND FLOOR LIGHTING & FIRE ALARM DEMOLITION LAYOUT
TE-2.4C PARTIAL SECOND FLOOR POWER & SYSTEMS DEMOLITION LAYOUT
TE-3.1 PARTIAL THIRD FLOOR LIGHTING & FIRE ALARM LAYOUT
TE-3.2 PARTIAL THIRD FLOOR POWER & SYSTEMS LAYOUT
TE-3.3 PARTIAL THIRD FLOOR LIGHTING & FIRE ALARM DEMOLITION LAYOUT
TE-3.4 PARTIAL THIRD FLOOR POWER & SYSTEMS DEMOLITION LAYOUT

COMMUNICATIONS

TC-0.1 COMMUNICATIONS LIST, GENERAL NOTES, ABBREVIATIONS, LEGENDS AND DETAILS
TC-0.2 COMMUNICATIONS PATHWAY DETAILS
TC-0.3 RESERVED
TC-1.1 1ST FLOOR COMMUNICATIONS LAYOUT
TC-1.2 1ST FLOOR WIRELESS ACCESS POINT PLAN
TC-2.1A 2ND FLOOR COMMUNICATIONS LAYOUT - SECTION A
TC-2.2A 2ND FLOOR WIRELESS ACCESS POINT PLAN - SECTION A
TC-2.1B 2ND FLOOR COMMUNICATIONS LAYOUT - SECTION B
TC-2.2B 2ND FLOOR WIRELESS ACCESS POINT PLAN - SECTION B
TC-3.1 3RD FLOOR COMMUNICATIONS LAYOUT
TC-3.2 3RD FLOOR WIRELESS ACCESS POINT PLAN

AUDIO-VISUAL SYSTEMS

AV000 AV DRAWING LIST & NOTES
AV001 LEGENDS & COORDINATION MATRIX
AV101A GROUND FLOOR AV DEVICE PLAN
AV200 AV ELEVATIONS
AV201 AV ELEVATIONS
AV300 AV CONDUIT NOTES
AV301 AV RISER DIAGRAMS
AV400 AV DETAILS
AV 500 AV FUNCTIONALS
AV501 AV FUNCTIONALS
AV502 AV FUNCTIONALS

STRUCTURAL

S-100 STRUCTURAL FRAMING PLANS
S-101 STRUCTURAL DETAILS

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NO.	ISSUE/ REVISION	DATE
7	ISSUED FOR CONSTRUCTION	2026/05/22
6	REVISION - BUILDING PERMIT + TENDER	2026/01/30
5	TENDER	2026/01/30
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/10/03
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE 6740

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID0.00**

REVISION NO. 7

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GENERAL DRAWINGS SYMBOLS LEGEND

INTERIOR ROOM ELEVATION REFERENCE
REFERENCE CONSECUTIVELY
IDX.XX: SHEET WHERE DRAWN

INTERIOR ELEVATION REFERENCE
X: DETAIL NUMBER
IDX.XX: SHEET WHERE DRAWN

INTERIOR SECTION REFERENCE
X: DETAIL NUMBER
IDX.XX: SHEET WHERE DRAWN

INTERIOR DETAIL REFERENCE
X: DETAIL NUMBER
IDX.XX: SHEET WHERE DRAWN

GRID TAG

INDICATES LEVEL NAME
LEVEL TAG
INDICATES LEVEL ELEVATION

SPOT ELEVATION

ROOM TAG

DOOR TAG

KEYNOTE

REVISION TAG

NORTH ARROW

BREAK LINE

ASSEMBLY SYMBOLS LEGEND

WALL/PARTITION ASSEMBLY TAG

INDICATES CEILING ASSEMBLY
CEILING ASSEMBLY TAG
INDICATES CEILING HEIGHT A.F.F.

FINISHES AND FF&E SYMBOLS LEGEND

WALL FINISH/MATERIAL TAG

FLOOR FINISH TAG

FLOOR AND BASEBOARD FINISH TAG

SPECIALTY EQUIPMENT TAG

MILLWORK TAG

DEFINITIONS

i. CONTRACTOR: REFERS EQUALLY TO A GENERAL CONTRACTOR, CONSTRUCTION MANAGER, OR DESIGN-BUILDER AND THEIR RESPECTIVE TRADE CONTRACTORS.

ii. ARCHITECT: REFERS TO THE PROFESSIONAL THAT PREPARED THE ARCHITECTURAL/INTERIOR DESIGN CONTRACT DOCUMENTS.

iii. CONSULTANT: REFERS TO THE STRUCTURAL, MECHANICAL, ELECTRICAL, ENVIRONMENTAL, AND ACOUSTICAL ENGINEERS, AND KITCHEN AND AUDIO-VISUAL CONSULTANTS THAT PREPARED THEIR RESPECTIVE CONTRACT DOCUMENTS.

iv. OWNER: REFERS EQUALLY TO A OWNER OR PROPERTY MANAGER RESPONSIBLE FOR THE BUILDING WHERE THE PROJECT WORK IS TO BE PERFORMED.

v. TENANT: REFERS TO THE END USER OF THE SPACE.

vi. VENDOR: REFERS TO ALL MANUFACTURERS, SUPPLIERS, DISTRUBUTORS, AND INSTALLERS OF FURNITURE, FIXTURES, EQUIPMENT AND SIGNAGE.

vii. DRAWING SERIES: REFERS TO THE DIFFERENT DRAWING SHEET SECTIONS (E.G. SERIES 1.0 - 9.0) THAT COMPRISE THE COMPLETE SET OF WORKING DRAWINGS ISSUED ON THE PROJECT.

GENERAL NOTES ARE SUPPLEMENTARY TO THE SPECIFICATION BOOK. WHERE CONFLICTS OCCUR, THE SPECIFICATION BOOK TAKES PRECEDENCE.

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0 GENERAL REQUIREMENTS

I. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL REQUIREMENTS, REQUIREMENTS STATED HEREIN, AND COORDINATE WITH ALL DRAWING SERIES ISSUED FOR THE PROJECT.

II. THIS CONTRACT IS FOR A COMPLETE INTERIOR CONSTRUCTION AND/OR RENOVATION INCLUDING ALL *MECHANICAL, ELECTRICAL,* WORK AND COORDINATION OF ALL TRADES. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. NEITHER THE ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS AND SECTIONS NOR THE ARRANGEMENT OF DRAWINGS SHALL CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG THE TRADE CONTRACTORS AND VENDORS OR ESTABLISHING THE EXTENT OF THE WORK TO BE PERFORMED.

III. DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL APPLICABLE CONTRACT DOCUMENTS ISSUED ON THE PROJECT, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL WORKING DRAWINGS, SCHEDULES AND WRITTEN SPECIFICATIONS.

IV. DO NOT SCALE DRAWINGS. ALL DIMENSIONS AND/OR ELEVATIONS INDICATED ON THE DRAWINGS ARE SOLELY TO PROVIDE REFERENCE AND INTENT OF THE ASSEMBLY AND/OR BUILDING COMPONENT, AND MAY VARY FROM ACTUAL ON-SITE CONDITIONS. ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND CONSULTANTS. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. NO CONTRACT REVISIONS OR EXTRAS WILL BE ALLOWED FOR FAILURE TO VERIFY SITE CONDITIONS AND DIMENSIONS.

V. THE ARCHITECT SHALL CONFIRM THE SYSTEM OF MEASUREMENT FOR THE BASE BUILDING AND PROJECT (METRIC VS. IMPERIAL). ANY APPLICABLE MEASUREMENT CONVERSION AND COORDINATION REQUIRED ON THE PROJECT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

VI. PLEASE BE ADVISED THAT THESE DRAWINGS ARE REPRESENTATIVE OF THE WORK TO BE PERFORMED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS TO CONSTRUCT THE WORK REPRESENTED HEREIN.

VII. THE CONTRACTOR SHALL UNDERTAKE ALL WORK IN ACCORDANCE WITH THE *NATIONAL BUILDING CODE - 2024 ONTARIO EDITION* AND ALL MUNICIPAL BYLAWS, CODES, ORDINANCES, GUIDELINES, AND AUTHORITIES HAVING JURISDICTION.

VIII. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT (OHS), CODE AND REGULATIONS. EVERY TRADE CONTRACTOR SHALL ENSURE THE SAFETY OF THEIR WORKERS AND OTHER WORKERS ON THE WORK SITE AND SHALL ENSURE THAT WORKERS ARE AWARE OF THEIR RESPONSIBILITIES AND DUTIES UNDER THE OCUPATIONAL HEALTH & SAFETY ACT, CODE AND REGULATIONS.

IX. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. AFTER COMPLETION OF WORK THE CONTRACTOR SHALL FORWARD A COPY OF THE OCCUPANCY INSPECTION COMPLETE WITH ALL REQUIRED VERIFICATIONS AND CERTIFICATES TO THE ARCHITECT.

X. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND BECOME FAMILIAR WITH THE OWNER'S BUILDING REGULATIONS FOR CONSTRUCTION, BUILDING ACCESS, PARKING, AND LOCAL BUSINESS LICENSING AND INCLUDE SUCH COSTS IN THEIR CONTRACT.

XI. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS FOR CONSTRUCTION WITHIN THE BUILDING AS SET OUT BY THE OWNER AND USE ONLY APPROVED / PERMITTED TRADE CONTRACTORS. ONLY IDENTIFIED TRADE CONTRACTORS SHALL BE USED TO PERFORM MODIFICATIONS AND ADDITIONS TO BASE BUILDING SYSTEMS.

XII. ENSURE ALL TRADES FULLY UNDERSTAND THEIR COMPLETE SCOPE OF WORK. PLEASE BE ADVISED THAT THERE MAY BE ADDITIONAL SCOPES OF WORK NOTED ON ASSOCIATED DOCUMENTATION AND SUCH SCOPE SHALL BE ACCOUNTED FOR IN THE COST OF THE WORK. NO CLAIMS OF EXTRAS SHALL BE CONSIDERED REGARDLESS OF WHERE THE SCOPE IS COVERED IN THE DOCUMENTS. EG: MISC. STEEL NOTED ON ARCHITECTURAL AND NOT ON THE STRUCTURAL DRAWINGS.

XIII. SCHEDULE:

i. PROVIDE A PROPOSED CONSTRUCTION SCHEDULE WITHIN 5 DAYS OF AWARD OF CONTRACT.

ii. PREPARE THE CONSTRUCTION SCHEDULE UTILIZING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS AND AVAILABLE PROJECT INFORMATION.

iii. THE CONSTRUCTION SCHEDULE SHALL BE SUBMITTED IN GANTT CHART FORM IDENTIFYING ALL TASKS AND TRADE CONTRACTOR WORK WITH DAILY TIME MEASUREMENTS.

iv. THE SCHEDULE WILL BE REVIEWED BY *THE ARCHITECT, CONSULTANTS, PROJECT MANAGER, OWNER, AND TENANT/CLIENT*. THE CONTRACTOR SHALL MAKE ANY AND ALL ADJUSTMENTS AS REQUIRED.

XIV. COORDINATE MILESTONE/INSPECTION SITE REVIEWS WITH THE ARCHITECT/CONSULTANTS A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR INSPECTION. REQUIRED MILESTONE REVIEWS SHALL BE AGREED UPON PRIOR TO START OF DEMOLITION/CONSTRUCTION.

XV. SCHEDULE AND ADMINISTER REGULAR PROJECT PROGRESS MEETINGS THROUGHOUT THE WORK AS REQUIRED (FREQUENCY TO BE AGREED UPON WITH CONSULTANTS). MEETING MINUTES ARE TO BE RECORDED AND DISTRIBUTED BY THE CONTRACTOR OR PROJECT MANAGER.

XVI. CONDUCT A SITE CHECK WITH THE OWNER, ARCHITECT, AND CONSULTANTS TO RECORD EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. ARCHITECT/CONSULTANTS TO BE ADVISED IMMEDIATELY OF ANY DISCREPANCIES AFFECTING PROJECT SCOPE.

XVII. CLEAN AND MAINTAIN THE PROJECT AREA DURING CONSTRUCTION TO ENSURE ANY ACCUMULATION OF WASTE, DEBRIS AND RECYCLABLE MATERIALS ARE ORGANIZED AND DISPOSED OF ACCORDING TO BEST PRACTICE FOR CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL. COMPLY WITH THE OWNERS PREFERRED METHOD AND FREQUENCY OF DEBRIS REMOVAL AND CONFIRM LOCATION OF ALL COLLECTION BINS.

XVIII. PROTECT ALL BASE BUILDING FINISHES AND EQUIPMENT DURING CONSTRUCTION. CUTTING, FASTENING, OR PENETRATING THE FINISHED DRYWALL IN ANY MANNER IS NOT PERMITTED TO EXTERIOR WALLS, MULLIONS, RADIANT PANELS, OR CONVECTOR CABINETS. ANY DAMAGE TO THE BASE BUILDING ENVELOPE AND SYSTEMS CAUSED BY THEM OR TRADE CONTRACTORS UNDER THEIR SUPERVISION MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER AND AT THE CONTRACTOR'S EXPENSE.

XIX. NO REMOVAL OR ALTERATION OF ANY ITEMS WHICH WOULD AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING UNLESS OTHERWISE NOTED IN THE CONTRACT.

XX. IN THE EVENT THAT THE BASE BUILDING AND/OR TENANT PREMISES ARE OCCUPIED DURING CONSTRUCTION, UNDERTAKE ALL MEASURES TO ENSURE PUBLIC SAFETY FOR ALL.

XXI. CARRY OUT ALL NECESSARY WORK REQUIRED TO BYPASS ALL SYSTEMS SO THAT THEY DO NOT INTERFERE IN ANY WAY WITH THE CONTINUITY OF THE OPERATION OF THE BASE BUILDING OR EXISTING TENANT PREMISES.

XXII. ENSURE ALL INSTALLATION OF MECHANICAL AND ELECTRICAL WORK IS COORDINATED RELATIVE TO CORRESPONDING ARCHITECTURAL DRAWINGS. ENSURE ALL NEW WORK INSTALLATIONS IS FULLY COORDINATED WITH OTHER BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO EXISTING MECHANICAL, ELECTRICAL AND SPRINKLERS. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL SUB CONTRACTORS COORDINATE ALL PRECEDING WORK.

XXIII. OPENINGS IN FIRE SEPARATIONS FOR NON-COMBUSTIBLE PIPES AND DUCTS SHALL BE FIRE STOPPED. ENSURE THAT WHERE WORK PASSES THROUGH A FIRE SEPARATION, THE OPENING SHALL BE SEALED WITH ULC LABELED FIRE STOPPING SEALANT TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION. EXISTING FIRE SEPARATIONS MUST BE MAINTAINED AS SUCH, AND ANY NEW, EXISTING OR ABANDONED HOLES/CUTTINGS MUST BE SEALED TO RETAIN THE INTEGRITY OF THE SEPARATION. APPLY FIRESTOPPING MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, ULC, OR WITH APPROVED TESTED ASSEMBLIES AND APPROVED DETAILS.

XXIV. X-RAY THE SLAB PRIOR TO ANY CUTTING OR DRILLING - ALL CORING SHALL BE REVIEWED AND COORDINATED WITH THE STRUCTURAL ENGINEER AND THE ARCHITECT. ALL X-RAYS, CUTTING OR DRILLING SHALL BE CARRIED OUT AFTER REGULAR BUSINESS HOURS AND THE CONTRACTOR SHALL ADHERE TO THE OWNER'S AFTER-HOURS BUILDING REGULATIONS. ANY PENETRATION THROUGH FLOOR MUST BE MADE WATERTIGHT AND FIRE STOPPED AS REQUIRED.

XXV. PROVIDE HOARDING OR OTHER PROTECTIVE MEASURES AT DEMOLITION AND NEW CONSTRUCTION TO ENSURE CONTAMINANTS ARE NOT SPREAD TO ADJACENT TENANT OR PUBLIC SPACES. ANY DAMAGE CAUSED BY HOARDING TO EXISTING ADJACENT SURFACES SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.

XXVI. ALTERNATES:
ALL MATERIAL IS TO BE AS SPECIFIED. ALTERNATES OR SUBSTITUTIONS ARE NOT ALLOWED U.N.O. AND UNDER THE FOLLOWING CONDITIONS:

i. ALL PROPOSED ALTERNATES OR SUBSTITUTIONS ARE SUBMITTED FOR ARCHITECT, CONSULTANT OWNER AND TENANT REVIEW PRIOR TO TENDER CLOSE. THIS REVIEW DOES NOT IMPLY ACCEPTANCE.

0 GENERAL REQUIREMENTS CONT'D

ii. PROVIDE RATIONALE FOR PROPOSING THE ALTERNATE OR SUBSTITUTION, IN ADDITION TO CONFIRMATION THAT IT IS EQUAL TO OR EXCEEDS THE ORIGINAL SPECIFICATION.

iii. IDENTIFY COST OF ALTERNATE OR SUBSTITUTION IN BID SUBMISSION PAGE 2

XXVII. SHOP DRAWINGS & SUBMITTALS:
THE ARCHITECT AND CONSULTANTS SHALL REVIEW SHOP DRAWINGS AND SUBMITTALS FOR CONFORMANCE OF DESIGN CONCEPT AND THE INFORMATION EXPRESSED IN THE CONTRACT DOCUMENTS. SHOP DRAWING AND/OR SUBMITTAL REVIEW SHALL NOT INCLUDE REVIEW OF ACCURACY OR COMPLETENESS OF DETAILS, SUCH AS QUANTITIES, DIMENSIONS, WEIGHTS OR GAUGES, FABRICATION PROCESSES, CONSTRUCTION MEANS/METHODS, COORDINATION OF THE WORK WITH OTHER TRADE CONTRACTORS OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SHOP DRAWINGS:

i. SHOP DRAWINGS SHALL BE REVIEWED AND ACCEPTANCE INDICATED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE ARCHITECT AND CONSULTANTS.

ii. SHOP DRAWINGS SHALL BE ISSUED IN ELECTRONIC 'PDF' FORMAT. ALL REQUISITE SPECIFICATIONS SHALL BE CLEARLY INDICATED ON SHOP DRAWINGS.

iii. THE ARCHITECT AND CONSULTANTS WILL NOT ACCEPT ANY SHOP DRAWINGS ISSUED DIRECTLY FROM THE TRADE CONTRACTORS AND/OR SHOP DRAWINGS BASED ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS.

iv. SHOP DRAWINGS SHALL MAKE PROVISION FOR ALL APPLICABLE SITE CONDITIONS AND CORRESPOND WITH THE SYSTEM OF MEASUREMENT IN THE CONTRACT DOCUMENTS.

v. THE CONTRACTOR SHALL NOT PROCEED WITH ORDERING MATERIAL AND FABRICATION UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND SIGNED OFF BY THE ARCHITECT AND CONSULTANTS AND RETURNED TO THE CONTRACTOR.

vi. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THE ARCHITECT/CONSULTANTS HAVE REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.

vii. THE ARCHITECT AND CONSULTANTS CAN NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR CONSULTANTS IN WRITING BY THE CONTRACTOR.

viii. THE ARCHITECT AND CONSULTANTS SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

SUBMITTALS - SAMPLES:
SAMPLES: EXAMPLES OF MATERIALS, EQUIPMENT, QUALITY, FINISHES & WORKMANSHIP

ix. SAMPLES SHALL BE REVIEWED AND ACCEPTANCE INDICATED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE ARCHITECT AND CONSULTANTS.

x. THE CONTRACTOR SHALL SUBMIT IN TRIPLICATE, APPROPRIATELY LABELED SAMPLES FOR REVIEW BY THE ARCHITECT AND CONSULTANTS. IDENTIFY SAMPLES WITH NAME AND PROJECT NUMBER, DATE, NAME OF CONTRACTOR, NAME OF TRADE CONTRACTOR, AND INTENDED USE OF MATERIAL REPRESENTED BY THE SAMPLE.

xi. REVIEWED AND ACCEPTED SAMPLES WILL BECOME THE STANDARD OF WORKMANSHIP AND MATERIAL AGAINST WHICH INSTALLED WORK IS VERIFIED. REVIEW/ACCEPTANCE OF SAMPLES DOES NOT IMPLY ACCEPTANCE OF FINISHED WORK.

xii. WHERE SAMPLES ARE REQUIRED TO ESTABLISH LIMITS OF A RANGE OF COLOR, TEXTURE AND/OR PATTERN, THE CONTRACTOR SHALL SUBMIT A FULL RANGE OF SAMPLES.

xiii. PAINT DRAW DOWNS TO BE SUBMITTED IN FLAT, EGGSHELL & SEMI-GLOSS FINISHES.

xiv. THE CONTRACTOR SHALL NOT PROCEED WITH ORDERING MATERIAL AND FABRICATION UNTIL SUBMITTALS HAVE BEEN REVIEWED AND SIGNED OFF BY THE ARCHITECT AND CONSULTANTS AND RETURNED TO THE CONTRACTOR.

XXVIII. INSTALL ALL NEW MATERIALS AS PER THE MANUFACTURERS' WRITTEN INSTRUCTIONS AND TO MEET THE REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND QUALITY ASSURANCE STANDARDS.

XXIX. CONFORM TO ALL SUSTAINABLE BEST PRACTICES AND PROCEDURES AS REQUIRED BY THE OWNER.

XXX. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMMISSIONING PROCESS IDENTIFIED IN THE CONSULTANTS' CONTRACT DOCUMENTS AND SHALL PROVIDE ALL MATERIAL, EQUIPMENT AND INSTRUMENTATION TO COMPLETE THE COMMISSIONING PROCESS AS OUTLINED.

XXXI. COMPLETE ALL DEFICIENCIES WITHIN 10 DAYS OF NOTIFICATION UNLESS A LONGER PERIOD IS AGREED TO BETWEEN THE ARCHITECT, CONSULTANTS AND THE CONTRACTOR.

XXXII. EMPLOY EXPERIENCED WORKERS, OR PROFESSIONAL CLEANERS FOR THE FINAL CLEANING. THE CONTRACTOR SHALL COMPLETELY 'HOUSE CLEAN' IN PREPARATION FOR THE SUBSTANTIAL COMPLETION INSPECTION. THIS INCLUDES REMOVAL OF ALL SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT.

XXXIII. COORDINATE THE FINAL INSPECTION DATE FOR SUBSTANTIAL COMPLETION OF WORK WITH THE ARCHITECT AND CONSULTANTS PRIOR TO MOVE IN.

XXXIV. SUBMIT TO THE ARCHITECT/CONSULTANTS, AT SUBSTANTIAL COMPLETION OF WORK, AN OPERATIONS AND MAINTENANCE MANUAL, INCLUDING DETAILED TECHNICAL INFORMATION DOCUMENTS AND RECORDS DESCRIBING THE OPERATION AND MAINTENANCE OF INDIVIDUAL PRODUCTS AND/OR SYSTEMS UNDER THE CONTRACT.

XXXV. PROVIDE AS-BUILT DRAWINGS TO THE ARCHITECT & CONSULTANTS WITHIN 10 DAYS OF SUBSTANTIAL COMPLETION. IN ADDITION, PROVIDE ORIGINAL SITE MARK-UP COPIES WITH ALL CHANGES AND MODIFICATIONS CLEARLY NOTED.

XXXVI. ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL PERFORMANCE OR SUCH LONGER PERIOD AS MAY BE SPECIFIED.

XXXVII. CONDUCT A TWO YEAR WARRANTY INSPECTION WITH THE ARCHITECT, CONSULTANTS, OWNER, AND TENANT.

0.0 DOOR AND GLAZING GENERAL REQUIREMENTS

0.0 *REFER TO DRAWING SERIES 0.0 FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.*

DOORS & FRAMES:

0.1 SUBMIT SHOP DRAWINGS TO ARCHITECT AND CONSULTANTS FOR REVIEW OF ALL DOOR AND DOOR FRAME CONDITIONS PRIOR TO ORDER AND FABRICATION.

0.2 ALL SWING DOORS ARE TO BE INSTALLED WITH THEIR HINGE SIDE 150mm (6") AWAY FROM THE ADJACENT WALL U.N.O.

0.3 FOR EXISTING DOORS AND FRAMES, REMOVE ALL EXISTING SIGNS AND HARDWARE PRIOR TO PAINTING AND REINSTALL UPON COMPLETION, U.N.O. DO NOT PAINT FIRE LABELS ON RATED DOORS AND FRAMES.

0.4 ALL DOORS AND FRAMES MUST BE SHOP FINISHED U.N.O.

GLAZING & FRAMES:

0.5 GLAZING SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT FOR REVIEW PRIOR TO ORDER AND FABRICATION. SHOP DRAWINGS TO INDICATE AT A MINIMUM THE FOLLOWING: SIZES, QUANTITIES, LOCATIONS, FRAME DETAILS AND FASTENING CONNECTION DETAILS.

0.6 ALL GLAZING IS TO HAVE ALL EXPOSED EDGES POLISHED.

0.7 PROVIDE SAMPLES OF ALL GLAZING TRIMS/CHANNELS TO ARCHITECT PRIOR TO ORDER OF MATERIALS.

0.8 NO SILICONE JOINTS ON NON-FIRE RATED PARTITIONS, FRAMELESS GLAZING TO BE BUTT JOINT & EASED AS REQUIRED.

0.0 DOOR AND GLAZING GENERAL REQUIREMENTS CONT'D

HARDWARE:

0.9 ALL HARDWARE TO BE COMMERCIAL GRADE AND TO MEET ALL CURRENT APPLICABLE CODE AND STANDARDS, U.N.O.

0.10 SUBMIT SHOP DRAWINGS TO ARCHITECT/CONSULTANTS FOR REVIEW OF ALL DOOR HARDWARE PRIOR TO ORDER/FABRICATION.

0.11 HARDWARE SCHEDULE TO BE CONFIRMED BY HARDWARE PROVIDER PRIOR TO ORDER.

0.12 ALL LOCK CYLINDERS TO MATCH EXISTING BASE BUILDING KEYING SYSTEM U.N.O. ALL LOCKS TO BE KEYED TO MATCH THE BASE BUILDING KEYING SYSTEM OR OWNERS' REQUIREMENTS - CONTRACTOR TO COORDINATE WITH OWNER/PROPERTY MANAGER.

0.13 INDICATED DOOR SECURITY DEVICES SUCH AS ELECTRIC STRIKES, CARD READERS AND MAGNETIC LOCKS ARE PROVIDED AS PART OF THIS CONTRACT AND SHALL BE INDICATED IN THE SHOP DRAWINGS. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL.

1.0 DEMOLITION GENERAL REQUIREMENTS

1.0 REFER TO DRAWING *SERIES 1.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

1.1 PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF DEMOLITION WORK AND TO VERIFY ALL EXISTING CONDITIONS. REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES IMMEDIATELY TO THE ARCHITECT/CONSULTANTS.

1.2 COORDINATE ALL TRADE CONTRACTORS ON SITE DURING THE DEMOLITION PHASE AND INCLUDE SUCH COSTS IN THEIR CONTRACT.

1.3 PRIOR TO DEMOLITION THE CONTRACTOR IS RESPONSIBLE FOR CHECKING FOR DEMOLITION SALVAGE AND ADVISING THE ARCHITECT AND CONSULTANTS ON THE FOLLOWING:

.1 ALL ITEMS SALVAGED DURING DEMOLITION WHICH ARE NOT TO BE REINSTALLED ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, OWNER AND TENANT.

.2 THE OWNER AND/OR TENANT RESERVES THE RIGHT TO RETAIN DEMOLISHED ITEMS. THE RETAINED ITEMS ARE TO BE RELOCATED BY THE CONTRACTOR TO A PREDETERMINED LOCATION WITHIN THE BUILDING AS DIRECTED BY THE OWNER.

.3 ALL UNWANTED ITEMS ARE TO BE DISPOSED OF BY THE CONTRACTOR AND AS PER THE OWNER'S CONSTRUCTION WASTE MANAGEMENT PROGRAM.

1.4 CONFIRM THAT THE PROPOSED EXTENT OF WORK IS FREE OF HAZARDOUS MATERIALS PRIOR TO COMMENCEMENT OF WORK. ALL ASPECTS OF ABATEMENT WORK ON THIS SITE IS SOLELY THE RESPONSIBILITY OF THE ABATEMENT CONTRACTOR OR THE CONTRACTOR.

1.5 ENSURE THAT ALL CUTTING, REMOVING AND DEMOLITION SHALL BE PERFORMED SO AS NOT TO CUT OR REMOVE MORE THAN IS NECESSARY AND TO NOT DAMAGE ADJACENT SURFACES.

1.6 MAKE GOOD ALL SURFACES AND/OR SUBSTRATES AFFECTED BY DEMOLITION, READY TO RECEIVE NEW CONSTRUCTION AS SPECIFIED IN THE CONTRACT DOCUMENTS.

.1 PRIOR TO TENDER CLOSE, THE EXISTING FLOOR SUBSTRATE IS TO BE REVIEWED BY THE ARCHITECT, STRUCTURAL CONSULTANT, OWNER, TENANT, AND CONTRACTOR TO DETERMINE ADHERENCE TO INDUSTRY STANDARDS, CONDITION TO ACCEPT NEW CONSTRUCTION AND ANY REPARATION/ LEVELING WORK REQUIRED. THE CONTRACTOR SHALL INCLUDE ALL COSTS FOR FLOOR SUBSTRATE LEVELING AND FINISHING IN THE CONTRACT COST.

.2 ENSURE THAT THE EXTENT OF REPARATION WORK TO EXISTING SURFACES AND/OR SUBSTRATES ALLOWS FOR NEW CONSTRUCTION THAT MEETS OR EXCEEDS THE SPECIFIED INDUSTRY QUALITY STANDARDS.

1.7 ANY AND ALL DAMAGE CAUSED DURING THE DEMOLITION PHASE IS TO BE REPAIRED TO LIKE-NEW CONDITION AT THE CONTRACTOR'S EXPENSE.

1.8 PROTECT EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL INSTALLATIONS. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. THE CONTRACTOR SHALL ENSURE THAT ALL LIFE-SAFETY AND EMERGENCY SYSTEMS ARE IN WORKING ORDER DURING DEMOLITION.

1.9 ANY AND ALL ITEMS THAT ARE REMOVED TO FACILITATE CONSTRUCTION (eg.. COVER PLATES, DOOR HARDWARE, ETC) ARE TO BE REINSTALLED BY THE CONTRACTOR AT THE END OF THE PROJECT U.N.O.

1.10 REMOVE ALL DEBRIS FROM DEMOLITION AS PER THE SUSTAINABLE AND/OR OWNERS CONSTRUCTION WASTE MANAGEMENT PROGRAM ESTABLISHED FOR THE PROJECT. SITE SHALL BE LEFT CLEAN & READY FOR NEW CONSTRUCTION.

2.0 PARTITION GENERAL REQUIREMENTS

2.0 REFER TO DRAWING *SERIES 2.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

2.1 CONFORM TO PRODUCT MANUFACTURERS' WRITTEN INSTRUCTIONS AND ULC DESIGN REQUIREMENTS TO PROVIDE STC AND FIRE RATINGS WHERE INDICATED ON THE CONTRACT DOCUMENTS.

2.2 ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD, U.N.O.

2.3 ALL STEEL STUDS TO BE LOCATED 400mm (16") ON CENTER U.N.O.

2.4 PARTITIONS TO BE PLACED ON THE CEILING GRID OR CENTER OF CEILING GRID U.N.O.

2.5 ALL PARTITION TYPES ARE TO BE CONTINUOUS ABOVE DOORS AND GLAZING U.N.O.

2.6 ALL WALLS ARE TO HAVE THE BOTTOM TRACK CAULKED TO THE SUBSTRATE. THE CONTRACTOR SHALL PROVIDE TWO (2) CONTINUOUS BEADS OF NON-HARDENING SEALANT UNDER THE BOTTOM TRACK OF ALL WALLS U.N.O.

2.7 DO NOT SCREW OR MECHANICALLY FASTEN WALLS TO WINDOW FRAMES, WINDOW MULLIONS, CONVECTOR CABINETS, OR RADIANT PANELS. PROVIDE CLOSED CELL FOAM TAPE AT THESE INTERSECTIONS OR AS PER THE OWNER'S ACCEPTED STANDARDS.

2.8 CADDY CLIPS OR REVOE STANDARD CLIPS ARE TO BE USED TO ANCHOR PARTITIONS TO THE CEILING GRID: NEVER PUNCTURE THE CEILING GRID. RAWL NAILING ANCHORS OR LOW VELOCITY HILTI FASTENERS (MAX. PENETRATION OF 19mm (3/4")) ARE TO BE USED TO ANCHOR PARTITIONS TO FLOOR SLAB. ANY REQUIRED T-BAR MODIFICATION WORK SHALL BE INCLUDED IN CONTRACT (IF APPLICABLE).

2.9 ENSURE A "LIGHT-TIGHT" CONNECTION WHENEVER PARTITIONS ABUT COLUMNS, PERIMETER OR CORE WALLS, AND WINDOW MULLIONS. THE CONTRACTOR SHALL INSTALL CLOSED CELL FOAM TAPE OR EQUAL AS PER THE OWNER'S ACCEPTED STANDARDS.

2.10 WHERE PARTITIONS OF VARYING THICKNESS ALIGN, OR WHERE ADDITIONAL LAYERS OF GYPSUM BOARD MEET NEW PARTITION CONSTRUCTION, ENSURE A FLUSH PARTITION FINISH ON EXPOSED FACES U.N.O.

2.11 ENSURE THAT ALL STUD WALLS THAT CONTINUE TO THE UNDERSIDE OF STRUCTURE ARE TO HAVE NESTED, DOUBLE TOP TRACK TO PROVIDE A 25mm (1") DEFLECTION.

2.12 CAULK ALL JOINTS WHERE STUD PARTITIONS ABUT CONCRETE BLOCK WALLS WITH SILICONE OR POLYURETHANE SEALANT.

2.13 INSTALL ALL NECESSARY PLYWOOD BLOCKING/BACKING IN WALLS AT LOCATIONS TO INCLUDE BUT NOT LIMITED TO: MILLWORK, SUSPENDED LIGHT FIXTURES, SUSPENDED A/V EQUIPMENT, FURNITURE, FIXTURES AND EQUIPMENT (FF&E), WASHROOM ACCESSORIES, AND SIGNAGE.

.1 REVIEW ALL BLOCKING LOCATIONS WITH ARCHITECT AND CONSULTANTS ON SITE PRIOR TO CLOSING IN THE PARTITION.

.2 COORDINATE BLOCKING REQUIREMENTS WITH STRUCTURAL CONSULTANT AND/ RECOMMENDED MANUFACTURERS' SPECIFICATIONS

.3 INSTALL ALL BLOCKING LEVEL AND PLUMB, RIGIDLY ANCHORED TO THE SUBSTRATE

.4 REFER TO DRAWING SERIES 5.0 - FF&E FOR REFERENCE AND COORDINATION

2.14 ALL ELECTRICAL SWITCHES, CONTROLS, CARD READERS, THERMOSTATS ARE TO ALIGN EITHER VERTICALLY OR HORIZONTALLY. COORDINATE LOCATIONS, LAYOUTS, ORIENTATION, AND COLOR WITH THE ARCHITECT AND CONSULTANTS ON SITE PRIOR TO INSTALLATION.

2.15 ENSURE THAT THE WORK OF EXTENDING, CUTTING AND PATCHING SHALL BE PERFORMED BY THOSE TRADES WHOSE MATERIALS ARE AFFECTED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING FIRE STOPPING REQUIRED FOR THEIR WORK AND AS PER THE BUILDING AND FIRE CODES HAVING JURISDICTION.

2.16 ALL PIPES, CONDUITS AND DUCTS IN ALL FINISHED AREAS ARE TO BE CONCEALED, U.N.O.

2.17 FIRESTOP ALL PENETRATIONS, TOP DEFLECTION TRACKS AND HORIZONTAL BRACING IN FIRE RATED WALLS IN ACCORDANCE WITH ULC GUIDELINES.

2.0 PARTITION GENERAL REQUIREMENTS CONT'D

2.18 USE CEMENT BOARD (OR APPROVED ALTERNATE) WITH CORROSION RESISTANT SCREWS IN ALL AREAS WHERE STONE OR TILE ARE BEING APPLIED TO PARTITIONS.

DEMOUNTABLE PARTITIONS: REFER TO FF&E GENERAL REQUIREMENTS 5.16 - 5.22

2.19 THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SPECIFICATION AND SCOPE OF WORK OF THE DEMOUNTABLE PARTITIONS, AND COORDINATE INSTALLATION REQUIREMENTS WITH THE ARCHITECT, CONSULTANTS, AND DEMOUNTABLE VENDOR/INSTALLER.

3.0 REFLECTED CEILING GENERAL REQUIREMENTS

3.0 REFER TO DRAWING *SERIES 3.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS, AND COORDINATION REQUIREMENTS.

3.1 ENSURE THAT FINISHED CEILINGS ARE STRAIGHT, TRUE, AND WITH ADEQUATE STRUCTURAL SUPPORT - NO "HOMEMADE" HANGERS ALLOWED.

3.2 LIGHT FIXTURES ON THE ARCHITECTURAL DRAWINGS ARE SHOWN FOR LOCATION COORDINATION ONLY, U.N.O. THE CONTRACTOR SHALL REFER TO THE CONSULTANT DRAWINGS FOR LIGHT FIXTURE DETAILS AND SPECIFICATIONS.

.1 RECESSED POT LIGHTS IN T-BAR CEILINGS ARE CENTERED IN THE TILE U.N.O.

.2 DIMENSIONS FOR LIGHT FIXTURES ARE TO THE CENTER OF THE FIXTURE U.N.O.

3.3 MARK ON SITE THE LOCATION OF ALL SPECIALTY LIGHT FIXTURES, DIFFUSERS, AND RECESSED A/V EQUIPMENT - ADVISE ARCHITECT, CONSULTANTS, A/V VENDOR, AND TENANT IMMEDIATELY OF ANY DISCREPANCIES THAT MIGHT AFFECT INSTALL.

.1 THESE MARK-UPS ARE TO BE REVIEWED WITH THE ARCHITECT, CONSULTANTS, A/V VENDOR AND TENANT PRIOR TO FINAL INSTALLATION.

.2 ALL PENDANT LIGHT FIXTURE LOCATIONS AND FINISHED HANGING LENGTH SHALL BE REVIEWED WITH THE ARCHITECT, CONSULTANTS, AND TENANT PRIOR TO INSTALL.

3.4 ENSURE ALL DIFFUSERS, ESCUTCHEON PLATES, LIGHT TRIMS, ETC., ARE INSTALLED TIGHT TO CEILING. ADVISE IMMEDIATELY OF ANY DISCREPANCIES.

3.5 DIFFUSERS AND SPRINKLERS, WHEN SHOWN, ARE FOR LOCATION COORDINATION ONLY. REFER TO CONSULTANT DRAWINGS FOR DETAILS/ SPECIFICATIONS.

3.6 CONFIRM FINISHES OF ALL CEILING MOUNTED EQUIPMENT, ESCUTCHEON PLATES, TRIMS ETC., PRIOR TO ORDER.

3.7 REVIEW CONDITION OF EXISTING SPRAY FIREPROOFING MATERIAL AND PROVIDE ALLOWANCE TO PATCH AND REPAIR ALL AREAS OF MISSING SPRAY FIREPROOFING (WHERE REQUIRED), AREAS WITH INADEQUATE BOND TO EXISTING STRUCTURE, AND ANY AREAS WHERE FIREPROOFING WILL NOT MEET FIRE RATING PERFORMANCE REQUIRED. PATCH AND REPAIR ALL AREAS AFTER CEILING WORK IS COMPLETE TO ENSURE COMPLETE COVERAGE.

3.8 THE CONTRACTOR MAY BE ASKED TO PROVIDE MOCK-UPS OF SPECIALTY LIGHTING CONDITIONS BY DIRECTION OF THE ARCHITECT AND CONSULTANTS.

GWB CEILINGS:

3.9 GYPSUM CEILING DIMENSIONS ARE TO THE FINISHED FACE OF THE GYPSUM WALL BOARD.

3.10 PROVIDE AND INSTALL "BAUCO PLUS II" GWB ACCESS PANELS (OR APPROVED ALTERNATE) IN GYPSUM CEILINGS AS REQUIRED. REFER TO ARCHITECTURAL AND CONSULTANT DRAWINGS FOR REQUIRED LOCATION, SIZE, AND SPECIFICATION OR DETAILS OF ACCESS PANELS AND AS REQUIRED TO MEET CURRENT BUILDING CODES HAVING JURISDICTION.

.1 CONFIGURE AND MARK ON SITE ALL REQUIRED ACCESS PANEL LOCATIONS AND REVIEW WITH ARCHITECT AND CONSULTANTS PRIOR TO FABRICATION & INSTALLATION.

3.11 ENSURE THAT ALL GWB CEILINGS ARE CONSTRUCTED TO A LEVEL 5 FINISH AS STIPULATED BY THE GYPSUM ASSOCIATION - GA214-96 STD.

ACOUSTIC TILE CEILINGS:

3.12 ENSURE THAT ADEQUATE QUANTITIES AND OVERAGES OF THE SPECIFIED ACOUSTIC TILE ARE PROVIDED TO ALLOW FOR BREAKAGE AND/OR DAMAGE DURING THE FINAL CEILING AND FIXTURE INSTALLATION.

3.13 PRIOR TO FINAL INSTALLATION AND TO AVOID DAMAGE, STACK/STORE THE ACOUSTIC CEILING TILES IN A CLEAN LOCATION ON SITE DESIGNATED BY THE OWNER.

3.14 ENSURE THAT THE CEILING GRID, ACOUSTIC TILE AND LIGHT FIXTURES ARE COORDINATED WITH THE BASE BUILDING PRIOR TO ORDER/INSTALLATION.

4.0 FINISHES GENERAL REQUIREMENTS

4.0 REFER TO DRAWING *SERIES 4.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

GENERAL:

4.1 REVIEW ALL EXISTING BASE BUILDING SUBSTRATE CONDITIONS AFFECTED BY THE APPLICATION OF NEW FINISHES. ADVISE ARCHITECT AND CONSULTANTS IMMEDIATELY OF ANY SITE CONDITIONS THAT DO NOT ALLOW FOR THE EXECUTION OF NEW WORK SPECIFIED UNDER THIS CONTRACT.

4.2 ALL HOLES IN THE FLOOR SLAB DUE TO MECHANICAL AND ELECTRICAL ALTERATIONS ARE TO BE FILLED WITH CEMENT BASED NON-SHRINK CONCRETE GROUT, FULL DEPTH OF SLAB, SECURED TO THE EXISTING SLAB TO ENSURE FIRE SEPARATION IS MAINTAINED. LEVEL/PREPARE CONCRETE FILL TO SUIT THE INSTALLATION OF NEW FLOOR FINISHES.

4.3 ENSURE THAT ALL SURFACES TO RECEIVE NEW FINISHES ARE PREPARED AS REQUIRED TO RECEIVE THE NEW FINISH AS SPECIFIED AND AS PER THE APPLICABLE QUALITY ASSURANCE STANDARD.

4.4 ENSURE THAT ALL MATERIALS AND FINISHES ARE TO BE INSTALLED AS PER THE MANUFACTURERS' AND/OR VENDORS' WRITTEN INSTRUCTIONS AND THESE CONTRACT DOCUMENTS.

4.5 UNLESS OTHERWISE NOTED, "PROVIDE" SHALL MEAN SUPPLY AND INSTALL.

4.6 WHERE FINISHES NEED TO BE CLARIFIED AS TO THE START AND STOP POINTS, REFER TO ALL PLANS, ELEVATIONS, AND DETAIL DRAWINGS ISSUED ON THE PROJECT. CONFIRM FINAL LOCATIONS ON SITE WITH THE ARCHITECT AND CONSULTANTS PRIOR TO INSTALLATION.

4.7 WHERE NEW FINISHES ARE TO MATCH EXISTING; ENSURE THERE SHALL BE NO VISUAL DIFFERENCE BETWEEN OLD AND NEW. ADVISE ARCHITECT IMMEDIATELY IF THIS CONDITION CANNOT BE ACHIEVED.

4.8 ALL FINISHES ARE TO BE BUTT JOINTED U.N.O.

4.9 ALL FINISHES ARE AS SPECIFIED IN THESE CONTRACT DOCUMENTS - REFER TO **GENERAL REQUIREMENTS** FOR INFORMATION REGARDING ALTERNATE SUBMITTALS.

4.10 FLOOR FINISHES:

.1 ALL FLOOR FINISHES ARE TO TERMINATE AT THE CENTER LINE OF DOORS U.N.O.

.2 ALL FLOOR FINISHES ARE TO EXTEND UNDER EXISTING MILLWORK AND CONVECTOR CABINETS AS FAR AS POSSIBLE. AT CONVECTOR CABINETS, CONTINUE UP THE WALL TO CREATE A FINISHED BASE; SECURE FLAT TO EXTERIOR WALL WHERE POSSIBLE

.3 FEATHER CONCRETE/SUBSTRATES OVER A 1200mm (4'-0") AREA TO ENSURE A SMOOTH, LEVEL TRANSITION BETWEEN FLOOR FINISHES.

4.11 PRIOR TO TENDER SUBMISSION, CONFIRM WITH THE ARCHITECT AND TENANT ANY REQUIREMENTS FOR ATTIC STOCK.

TILE:

4.12 ALL TILE WORK SPECIFIED IN THESE CONTRACT DOCUMENTS TO BE COMPLETED IN ACCORDANCE WITH TERRAZZO TILE AND MARBLE ASSOCIATION OF CANADA (TTMAC) TILE INSTALLATION MANUAL (LATEST EDITION) U.N.O.

4.13 SHOP DRAWINGS AND SUBMITTALS ARE REQUIRED FOR ARCHITECT AND CONSULTANT REVIEW FOR ALL WALL AND FLOOR STONE AND TILE WORK PRIOR TO PROCEEDING WITH ORDER AND INSTALLATION. REFER ALSO TO **GENERAL REQUIREMENTS**.

.1 SHOP DRAWINGS SHALL INCLUDE THE LOCATION OF ALL GROUT LINES AND GROUT WIDTHS. ENSURE THAT ALL GROUT LINES ALIGN AND AS INDICATED ON FLOOR PLANS & ELEVATIONS.

.2 UPON RECEIPT OF MATERIAL ON SITE, LAY OUT ALL STONE AND TILES AND REVIEW WITH ARCHITECT, CONSULTANT AND TENANT PRIOR TO FINAL INSTALLATION. REFER TO FLOOR FINISHES, PLAN FOR SIZE AND PATTERN OF ALL STONE AND TILE.

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NOTE

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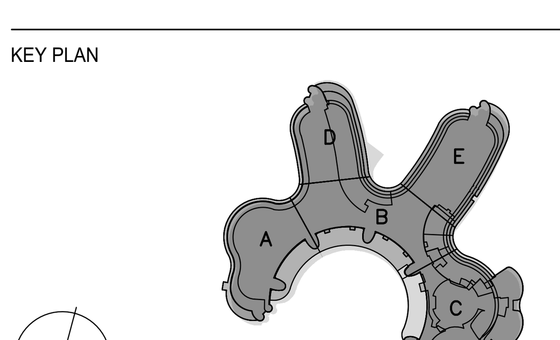
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

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TITLE
GENERAL NOTES AND SYMBOLS LEGEND

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID0.01**
REVISION NO. 6

4.0 FINISHES GENERAL REQUIREMENTS CONT'D

4.14 VERIFY WITH THE ARCHITECT, CONSULTANTS AND TENANT THE APPLICABLE BASE BUILDING SLAB AND SUBSTRATE CONDITIONS AND TAKE ALL CORRECTIVE MEASURES REQUIRED TO ENSURE STONE AND TILE INSTALLATIONS ARE WITHOUT FLAW OR FAILURE.

.1 INSTALL SELF-LEVELING OR TROWEL APPLIED LEVELING BED TO ALLOW FOR SATISFACTORY INSTALLATION OF FINISHES.

4.15 GROUT:

.1 SEAL ALL GROUT JOINTS AS PER THE MANUFACTURERS' AND/OR VENDORS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.

.2 CONFIRM ALL GROUT COLORS AND GROUT DIMENSIONS (WIDTHS) WITH ARCHITECT ON SITE PRIOR TO STONE OR TILE INSTALLATION.

4.16 ALL TRANSITIONS BETWEEN STONE OR TILE AND ADJACENT FINISH TYPES ARE TO BE THE APPROPRIATE SCHLUTER EXTRUSION OR ARCHITECT APPROVED ALTERNATIVE.

.1 PROVIDE SAMPLES OF ALL TRANSITIONS REQUIRED ON THIS PROJECT FOR ARCHITECT REVIEW PRIOR TO ORDER OF MATERIAL. REFER TO THE FINISH SCHEDULE FOR SPECIFICATION DETAILS.

4.17 FOR STONE OR TILE WASHROOM FLOORS - SLOPE THE STONE/TILE TO THE FLOOR DRAIN, MINIMUM 1:100 (1%) SLOPE. ADVISE ARCHITECT AND CONSULTANTS IMMEDIATELY OF ANY CONFLICTS WITH SPECIFIED STONE OR TILE FINISH INSTALLATION AND SITE CONDITIONS.

4.18 PROVIDE AND APPLY PENETRATION TYPE SEALER AND FINAL TOPCOAT FOR ALL STONE AS PER THE MANUFACTURERS' WRITTEN INSTRUCTIONS AND SPECIFICATIONS.

PAINT:

4.19 ALL PAINTING WORK AND PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS SPECIFIED IN THE MASTER PAINTERS INSTITUTE (MPI) MANUALS, CURRENT EDITION.

.1 ALL PAINT APPLICATIONS SHALL BE 'PREMIUM GRADE' U.N.O.

4.20 SUBMIT ALL PAINT DRAW DOWNS ON A MINIMUM 300mm X 300mm (12"x12") WHITE PAPER FORMAT TO ARCHITECT FOR REVIEW PRIOR TO ORDERING MATERIAL.

4.21 UPON APPROVAL OF PAINT DRAW DOWNS, PROVIDE ADDITIONAL SAMPLING ON SITE (MOCK UP) OF EACH PAINT COLOR AND FINISH SPECIFIED FOR THE ARCHITECT AND TENANT TO REVIEW PRIOR TO ORDER OF MATERIAL. APPLICABLE LIGHTING MUST BE IN PLACE PRIOR TO PAINTING OF SITE.

4.22 THE TRADE CONTRACTOR SHALL USE ONLY THE SPECIFIED PAINT COLORS AND MANUFACTURERS IN THESE CONTRACT DOCUMENTS - SUBSTITUTIONS NOT PERMITTED.

RESILIENT FLOORING:

4.27 PREPARE ALL SUBSTRATE SURFACES AND INSTALL RESILIENT FLOORING IN STRICT ACCORDANCE WITH THE MANUFACTURERS' DIRECTIONS. RESILIENT FLOORING INSTALLER TO SUBMIT A SEAMING DIAGRAM FOR ARCHITECT REVIEW PRIOR TO ORDERING OF MATERIAL.

.1 PRIOR TO COMMENCING INSTALLATION, PROVIDE THE ARCHITECT WITH WRITTEN CONFIRMATION THAT THE EXISTING SUBFLOOR/SUBSTRATE IS ACCEPTABLE IN ALL REGARDS FOR THE FLAWLESS INSTALLATION OF THE RESILIENT FLOORING MATERIALS.

4.28 SEAL ALL NEW RESILIENT FLOORING AS PER THE MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. REVIEW WITH OWNER AND TENANT PRIOR TO APPLYING SEALANT.

4.29 ALL TRANSITIONS BETWEEN RESILIENT FLOORING AND CARPET AND RESILIENT FLOORING AND CONCRETE ARE TO BE RUBBER U.N.O. PROVIDE SAMPLE OF THE TRANSITION TYPE SPECIFIED TO ARCHITECT FOR REVIEW PRIOR TO ORDER AND INSTALLATION.

CARPET & CARPET TILE:

4.30 CARPET INSTALLER TO SUBMIT A TILE LAYOUT AND/OR SEAMING DIAGRAM FOR ARCHITECT REVIEW PRIOR TO ORDERING OF MATERIAL. ADVISE ARCHITECT IMMEDIATELY OF ANY CONCERNS REGARDING INSTALLATION OF CARPET/CARPET TILE SPECIFIED IN THESE CONTRACT DOCUMENTS.

.1 DIRECTION OF GRAIN TO BE CONSISTENT AND AS SHOWN ON DRAWINGS; NO CROSS SEAMS; ENSURE CARPET CUTS ARE STRAIGHT AND RUNNING IN LINE WITH THE CARPET PATTERN.

.2 CARPET SEAMS ARE TO BE CONCEALED AS MUCH AS POSSIBLE. REVIEW TILE LAYOUT ON SITE WITH ARCHITECT AND CONSULTANTS PRIOR TO FINAL INSTALL.

4.31 THE CARPET TRADE CONTRACTOR SHALL INSTALL ALL CARPET AND/OR CARPET TILES IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN INSTRUCTIONS/RECOMMENDATIONS.

4.32 ENSURE THAT A MAINTENANCE PROGRAMME IS COORDINATED WITH THE VENDOR, INSTALLER, AND TENANT AND IMPLEMENTED TO HONOR THE WARRANTY OF THE CARPET AND/OR CARPET TILES SPECIFIED IN THESE CONTRACT DOCUMENTS.

5.0 FURNITURE, FIXTURE & EQUIPMENT GENERAL REQUIREMENTS

5.0 REFER TO DRAWING *SERIES 5.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

GENERAL:

5.1 FF&E INCLUDES, BUT IS NOT LIMITED TO: FURNITURE, FIXTURES (FURNISHINGS), EQUIPMENT, ACCESSORIES, AND DEMOUNTABLE PARTITIONS.

5.2 PRIOR TO FF&E ORDER AND FABRICATION, THE FF&E VENDOR(S) SHALL REVIEW ALL THE CONTRACT DOCUMENTS ISSUED ON THE PROJECT AND BASE BUILDING OWNER REGULATIONS. THE VENDOR(S) SHALL ADVISE THE ARCHITECT, CONSULTANTS AND CONTRACTOR IMMEDIATELY OF ANY EXISTING AND/OR NEW CONSTRUCTION CONDITIONS AFFECTING PROCUREMENT AND INSTALLATION.

5.3 THE FF&E VENDOR IS RESPONSIBLE FOR ALL SITE MEASUREMENTS AND SHALL ADVISE THE CONTRACTOR AND ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO FF&E ORDER AND FABRICATION. THE VENDOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE UNITS OF MEASUREMENT USED IN THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL MEASUREMENT CONVERSIONS REQUIRED.

5.4 THE VENDOR IS RESPONSIBLE FOR FINAL COUNTS OF ALL FF&E COMPONENTS.

5.5 THE CONTRACTOR SHALL COORDINATE ALL CONSULTANT WORK AFFECTING FF&E INSTALL.

5.6 COORDINATE ALL CONSTRUCTION INSTALLATION SCHEDULES AND SEQUENCE OF CONSTRUCTION WORK WITH THE APPLICABLE FF&E VENDORS AND TRADE CONTRACTORS.

5.7 COORDINATE THE FF&E INSTALLATION WITH CONTRACT DOCUMENTS AND VENDOR DRAWINGS ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL ADVISE THE ARCHITECT, CONSULTANTS AND VENDOR(S) IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE INSTALLATION DRAWINGS AND SITE CONDITIONS.

5.8 VENDOR AND CONTRACTOR SHALL INSTALL ALL NEW MATERIALS, FIXTURES, EQUIPMENT AND ACCESSORIES AS PER THE MANUFACTURERS' WRITTEN INSTRUCTIONS AND TO MEET THE REQUIREMENTS OF THE CURRENT APPLICABLE CODES/STANDARDS.

5.9 VENDOR AND CONTRACTOR SHALL INSTALL ALL FIXTURES AND ACCESSORIES (WHERE APPLICABLE) IN ACCORDANCE WITH BARRIER FREE REQUIREMENTS, BASED ON THE *ONTARIO BUILDING CODE 2024* AND ALL OTHER APPLICABLE CODES AND STANDARDS.

5.10 PROVIDE ALL BLOCKING AS REQUIRED FOR THE INSTALLATION OF THE SPECIFIED FF&E. COORDINATE LOCATIONS AND SPECIFICATIONS WITH ARCHITECT, CONSULTANTS, AND VENDORS ON SITE PRIOR TO COMPLETION OF PARTITION CONSTRUCTION AND FINISHING. ENSURE SOUND STRUCTURAL SUPPORT.

5.11 INTEGRATION OF EXISTING TENANT FF&E INTO NEW CONSTRUCTION IS THE RESPONSIBILITY OF THE TENANT AND SHALL BE COORDINATED WITH THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE SUCH COSTS IN THEIR CONTRACT.

FURNITURE:

5.12 FURNITURE IS NOT IN CONTRACT ('NIC') UNLESS NOTED OTHERWISE. FURNITURE IS PROVIDED FOR CONTRACTOR, ARCHITECT, CONSULTANTS AND FURNITURE VENDOR REFERENCE AND COORDINATION PURPOSES ONLY.

5.13 ENSURE THAT ALL FLOOR LOADING REQUIREMENTS AND REMEDIAL WORK (i.e. SLAB REINFORCEMENT) IS COORDINATED WITH THE CONSULTANTS AND VENDOR TO SUIT THE APPLICATION AND INCLUDE SUCH COSTS IN THEIR CONTRACT.

FIXTURES, EQUIPMENT & ACCESSORIES:

5.14 REFER TO THE EQUIPMENT SCHEDULE FOR A LIST OF ALL FIXTURES, EQUIPMENT, APPLIANCES, AND ACCESSORIES THAT FALL UNDER THEIR SCOPE.

SIGNAGE:

5.15 THE SUPPLY AND INSTALLATION OF SIGNAGE IS 'NIC' U.N.O. COORDINATE ALL INSTALLATION REQUIREMENTS WITH THE SIGNAGE CONTRACTOR/VENDOR. REFER TO ARCHITECTURAL DRAWINGS AND SIGNAGE SHOP DRAWINGS FOR DETAILS AND LOCATION OF SIGNAGE.

5.0 FURNITURE, FIXTURE & EQUIPMENT GENERAL REQUIREMENTS CONT'D

DEMOUNTABLE PARTITIONS:

5.16 COORDINATE THE SITE INSTALLATION WITH THE ARCHITECT, CONSULTANTS, TENANT, DEMOUNTABLE PARTITION VENDOR AND TRADE CONTRACTORS AFFECTED BY THIS SCOPE OF WORK AND INCLUDE SUCH COSTS IN THEIR CONTRACT.

.1 REVIEW ALL DEMOUNTABLE PARTITION SHOP/ INSTALLATION DRAWINGS ISSUED ON THE PROJECT. THE CONTRACTOR SHALL ADVISE THE ARCHITECT, TENANT AND DEMOUNTABLE PARTITION VENDOR IMMEDIATELY OF ANY DISCREPANCIES AND/OR OMISSIONS.

5.17 THE DEMOUNTABLE PARTITION VENDOR IS RESPONSIBLE FOR ALL SITE MEASUREMENTS AND CONVERSIONS AS REQUIRED FOR FABRICATION AND INSTALLATION OF THE PARTITIONS.

5.18 THE CONTRACTOR SHALL REVIEW ALL THE REQUIRED DEMOUNTABLE PARTITION 'STC' RATINGS SPECIFIED FOR THE PROJECT AND ADVISE THE ARCHITECT AND VENDOR PRIOR TO PARTITION ORDER OF ANY DISCREPANCIES AND RELATED SITE CONDITION ISSUES.

5.19 COORDINATE AND MAINTAIN 'HOLD TO' DIMENSIONS PROVIDED BY THE VENDOR.

5.20 THE VENDOR SHALL PROVIDE ALL CONNECTION DETAILS TO WALLS, CEILINGS AND FLOORS IN ACCORDANCE WITH THE BASE BUILDING OWNER REGULATIONS.

5.21 THE DEMOUNTABLE PARTITIONS ARE TO BE INSTALLED IN A FINISHED, CLEAN SPACE.

.1 THE FLOORING, CONVENTIONAL PARTITIONS, CEILINGS AND LIGHT FIXTURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOUNTABLE INSTALLATION.

.2 PROTECT ALL FINISHES FROM DAMAGE DURING DEMOUNTABLE PARTITION INSTALLATION AND REPAIR/REPLACE AT THEIR EXPENSE

5.22 MAINTAIN A LEVEL CEILING/FLOOR THROUGHOUT THE SPACE. TOLERANCE DEVIATIONS GREATER THAN THOSE NOTED BY THE VENDOR SHALL BE CORRECTED.

6.0 INTERIOR ELEVATIONS GENERAL REQUIREMENTS

6.0 REFER TO DRAWING *SERIES 6.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

7.0 INTERIOR SECTIONS & DETAILS GENERAL REQUIREMENTS

7.0 REFER TO DRAWING *SERIES 7.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

8.0 MILLWORK GENERAL REQUIREMENTS

8.0 REFER TO DRAWING ***SERIES 8.0*** FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

8.1 UNLESS OTHERWISE NOTED, ALL ARCHITECTURAL MILLWORK SHALL BE MANUFACTURED AND INSTALLED TO MEET OR EXCEED THE REQUIREMENTS OF THE AWMAC QUALITY STANDARDS (LATEST EDITION), PREMIUM GRADE, FOR SUPPLY, FINISH, AND INSTALLATION. CASEWORK SHALL CONFORM TO AWMAC DETAILS FOR FLUSH OVERLAY. CONTRACTOR TO CONFIRM WITH ARCHITECT /CONSULTANTS IF AN AWMAC INSPECTION WILL BE REQUIRED ON THIS PROJECT AND INCLUDE IN CONTRACT PRICE.

8.2 SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND CONSULTANTS FOR REVIEW PRIOR TO ORDER AND FABRICATION OF MILLWORK. REFER ALSO TO **GENERAL REQUIREMENTS.**

8.3 CONFIRM SIZES AND SPECIFICATIONS OF THE TENANTS FIXTURES, EQUIPMENT AND APPLIANCES SPECIFIED ON THIS PROJECT AND PRIOR TO ORDER AND FABRICATION OF MILLWORK. ALL MILLWORK SHALL BE BUILT TO SUIT AND TO ALLOW FOR FULL OPERATION OF ADJACENT FIXTURES, EQUIPMENT AND/OR APPLIANCES.

.1 INCLUDE ALL FIXTURES, EQUIPMENT, AND/OR APPLIANCES IN SHOP DRAWING SUBMITTALS, AND SUBMIT SAMPLES OF ALL CABINET HARDWARE FOR ARCHITECT AND CONSULTANT REVIEW.

8.4 CABINET CONSTRUCTION (UNLESS NOTED OTHERWISE):

.1 CONCEALED INTERIOR CABINET SURFACES TO HAVE A MELAMINE FINISH. BACK PANEL OF CABINETS TO BE 3mm (1/8") PREFINISHED HARDBOARD TO MATCH THE MELAMINE COLOR.

.2 ALL EXPOSED CABINET EDGES TO BE FINISHED TO MATCH ADJACENT DOORS & GABLES.

.3 ALL MILLWORK TO BE OF 19mm (3/4") THICK MATERIAL U.N.O.

MILLWORK HARDWARE

8.5 REFER TO ARCHITECTURAL DRAWINGS 8.0 SERIES AND HARDWARE SCHEDULES FOR ALL PROJECT SPECIFIC MILLWORK HARDWARE SPECIFICATIONS.

.1 ENSURE THAT ALL REQUIRED CLEARANCES FOR THE SPECIFIED HARDWARE IS ACHIEVED AND MILLWORK IS FULLY OPERABLE.

.2 ENSURE THAT ALL MILLWORK HAS SOFT OPEN AND CLOSE HINGES AND DRAWER GLIDES. VERIFY APPROPRIATE HARDWARE SPECIFICATION SUITS MATERIAL AND OPENING TYPE. DESIGNER APPROVAL OF HARDWARE IS REQUIRED PRIOR TO ORDER.

9.0 OTHER GENERAL REQUIREMENTS

9.0 REFER TO DRAWING *SERIES 9.0* FOR APPLICABLE PROJECT INFORMATION, DETAILS & COORDINATION REQUIREMENTS.

GENERAL NOTES ARE SUPPLEMENTARY TO THE SPECIFICATION BOOK. WHERE CONFLICTS OCCUR, THE SPECIFICATION BOOK TAKES PRECEDENCE.

CASH ALLOWANCES AND ALTERNATE PRICE REQUESTS

1. INSPECTION AND TESTING:
   1.1. INCLUDE THE SUM OF: $20,000.00
2. ALTOS PARTITION MODIFICATIONS:
   2.1. INCLUDE THE SUM OF: $30,000.00
3. SUPPLY AND INSTALLATION OF FINISH DOOR HARDWARE
   3.1. INCLUDE THE SUM OF: $50,000.00
4. FIRE STOPPING NOT IDENTIFIED ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS DISCOVERED DURING DEMOLITION.
   4.1. INCLUDE THE SUM OF: $30,000.00
5. WOOD INFILL PANELS AND FLOOR EXPANSION JOINT COVER PLATES.
   5.1. INCLUDE THE SUM OF: $35,000.00
6. METAL TRIMS ON GWB CEILING TO REMAIN, PATCH AND REPAIR AS NEEDED.
   6.1. ALLOW FOR $35,000.00 ALLOWANCE FOR NEW COVERS AS NEEDED.
7. PROVIDE CASH ALLOWANCE TO NOTCH DRYWALL BULKHEAD TO FIT NEW LED PANEL LIGHTS WHERE GRID IS TOO NARROW TO ACCOMMODATE A FULL FIXTURE.

PARTITION ASSEMBLIES

TYPE	ASSEMBLY CONSTRUCTION
P01	**DEMOUNTABLE PARTITION FROM FLOOR TO U/S OF CEILING** • ALTOS WALL SUPPLIED BY CLIENT AND INSTALLED BY FURNITURE DEALER. GC TO COORDINATE WITH FURNITURE DEALER FOR INSTALLATION. • FROM TOP OF FINISHED CEILING: NEW RIGID INSULATION TO U/S OF STRUCTURE ABOVE. C/W FOIL BOTH SIDES AND SEAL JOINT @ T-BAR W/ BATT INSULATION. SEMI BATT RIGID INSULATION - FLAME SPREAD NOT GREATER THAN 25 AND SMOKE DEVELOPMENT NOT GREATER THAN 50 INTERIOR DESIGN DRAWINGS ARE FOR DESIGN INTENT ONLY. FINAL LAYOUT MUST BE COORDINATED WITH DRYWALL AND DEMOUNTABLE PARTITION LAYOUTS. ENSURE DESIGNER AND OWNER REVIEW FINAL LAYOUT PRIOR TO FABRICATION.
P02	**FROM FLOOR TO U/S OF CEILING** • 16MM GYPSUM WALLBOARD • 92MM METAL STUDS @ 400MM O.C. • FILL CAVITY WITH ACOUSTIC INSULATION • 16MM GYPSUM WALLBOARD * DENOTES PARTITION TO MATCH CONSTRUCTION AND SIZE OF EXISTING PARTITION.
P03	**PLUMBING WALL TO U/S OF CEILING** • 16MM GYPSUM WALL BOARD • 152MM METAL STUD @ 400MM O.C • FILL CAVITY WITH ACOUSTIC INSULATION • 16MM GYPSUM WALL BOARD
P04	**FURRED OUT PLUMBING WALL TO U/S OF CEILING** • 152MM METAL STUD @ 400MM O.C • FILL CAVITY WITH ACOUSTIC INSULATION • 16MM GYPSUM WALL BOARD
P05	**FURRED OUT WALL TO U/S OF CEILING** • 92MM METAL STUD @ 400MM O.C • FILL CAVITY WITH ACOUSTIC INSULATION • 16MM GYPSUM WALL BOARD
P06	**TEMPORARY HOARDING PARTITION 1HR RATED - TO U/S OF SLAB** • 16MM TYPE X GYPSUM WALL BOARD • 92MM METAL STUD @ 610 MM O.C • 16 MM TYPE X. GYPSUM WALL BOARD • JOINTS FINISHED • HOARDING PARTITION TO MATCH SPECIFICATION SECTION 01 50 00-1.1.3.4 - TEMPORARY DUST TIGHT PARTITIONS
P07	**FROM FLOOR TO U/S OF SLAB 1HR RATED SHAFT WALL** • **25MM GWB LINEAR PANEL (UL TYPE SLX)** • **50MM CH STUDS 20GA MSG., SPACED 400MM O.C** • **FILL CAVITY WITH 38MM GLASS FIBRE BATT INSULATION** • **16MM GWB BOARD (UL TYPE SCX)**

ACOUSTICS GENERAL NOTES

1. ALL PARTITIONS WITH SPECIFIED STC RATINGS ARE TO EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE.
2. BOTTOM AND TOP TRACKS TO BE SET ON 3 CONTINUOUS BEADS OF CAULKING OR ON ACOUSTICAL TRACK SEAL - HILTI CS-TTS OR APPROVED ALTERNATE.
3. BACK-TO-BACK POWER AND TELECOMMUNICATIONS OUTLETS ARE NOT ACCEPTABLE INSIDE THE SAME STUD CAVITY. SEPARATE SERVICE PENETRATIONS BY AT LEAST ONE STUD CENTER WIDTH.
4. INTERFACES OF BUILDING COMPONENTS OF ACOUSTIC PARTITIONS MUST BE ACOUSTICALLY SEALED.
5. ALL PENETRATIONS THROUGH ACOUSTIC PARTITIONS TO BE ADEQUATELY ACOUSTICALLY SEALED.
6. WHERE BACK-TO-BACK FIXTURE INSTALLATION IS UNAVOIDABLE IN ACOUSTIC PARTITIONS, THE FIXTURE SHALL BE WRAPPED WITH 3M FIRE BARRIER MOLDABLE PUTTY STIX MP+ OR APPROVED ALTERNATE.
7. ALL STEEL STUD FRAMING OF ACOUSTIC PARTITIONS TO BE 25 GUAGE, UNLESS NOTED OTHERWISE.

CONSTRUCTION ASSEMBLY GENERAL NOTES

1. ALL PENETRATIONS THROUGH BOTH EXISTING AND NEW RATED WALL ASSEMBLIES, WHETHER SMOKE-, FIRE-, OR ACOUSTICALLY-RATED, MUST BE SEALED IN ACCORDANCE WITH PENETRATION DETAILS AND THE SPECIFIC RATING OF THE ASSEMBLY.
2. ALL EXISTING PENETRATIONS/OPENINGS THROUGH EXISTING SLAB AND ROOF ASSEMBLIES ARE TO BE FIRE STOPPED TO MAINTAIN CONTINUITY OF REQUIRED RATINGS.
3. ALL PATCHING AND REPAIRING OF CONSTRUCTION ASSEMBLIES TO BE COMPLETED IN ACCORDANCE WITH THE EXISTING ASSEMBLY CONSTRUCTION.
4. ALL STEEL STUD FRAMING AND GYPSUM BOARD/INTERIOR WALL SHEATHING OF SMOKE-, FIRE-, AND ACOUSTICALLY-RATED PARTITIONS TO BE FULL HEIGHT, FRAMED FROM FLOOR TO U/S OF DECK/SLAB ABOVE, UNLESS NOTED OTHERWISE.
5. WHERE CONCRETE STRUCTURE (INCLUDING PRECAST DOUBLE TEES AND BEAMS) ALIGN ABOVE FIRE RATED DEMISING WALLS, ALL GAPS BETWEEN MEMBERS TO BE FILLED C/W NON-COMBUSTIBLE MATERIAL AND FULLY SEALED AND FIRE CAULKED TO MEET RATING OF DEMISING WALL BELOW.
6. SUBSTITUTE MOLD/MOISTURE RESISTANT GYPSUM WALLBOARD ON OUTER MOST LAYER OF EXPOSED SIDE WHERE PARTITION ABUTS WET AREAS.

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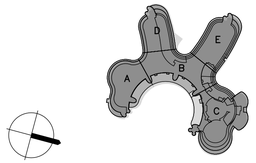
KEY PLAN



NO.	ISSUE/ REVISION	DATE
7	ISSUED FOR CONSTRUCTION	2026/05/22
6	ADDENDUM NO. 2	2026/03/27
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

GENERAL NOTES AND ASSEMBLIES

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID0.02**

REVISION NO. 7

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BUILDING CODE ANALYSIS

PROJECT DESCRIPTION
YORK REGION MUNICIPALITY CENTRE
17250 YONGE STREET
NEWMARKET, ONTARIO L3Y 4W5
INTERIOR FIT-OUT/RENOVATION/ETC

BUILDING CODE DATA

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BUILDING CODE CLASSIFICATION

FIRM NAME: ZEIDLER ARCHITECTURE INC.
CERTIFICATE OF PRACTICE NO.: AC17018
158 STERLING ROAD #600,
TORONTO ON M6R 2B7

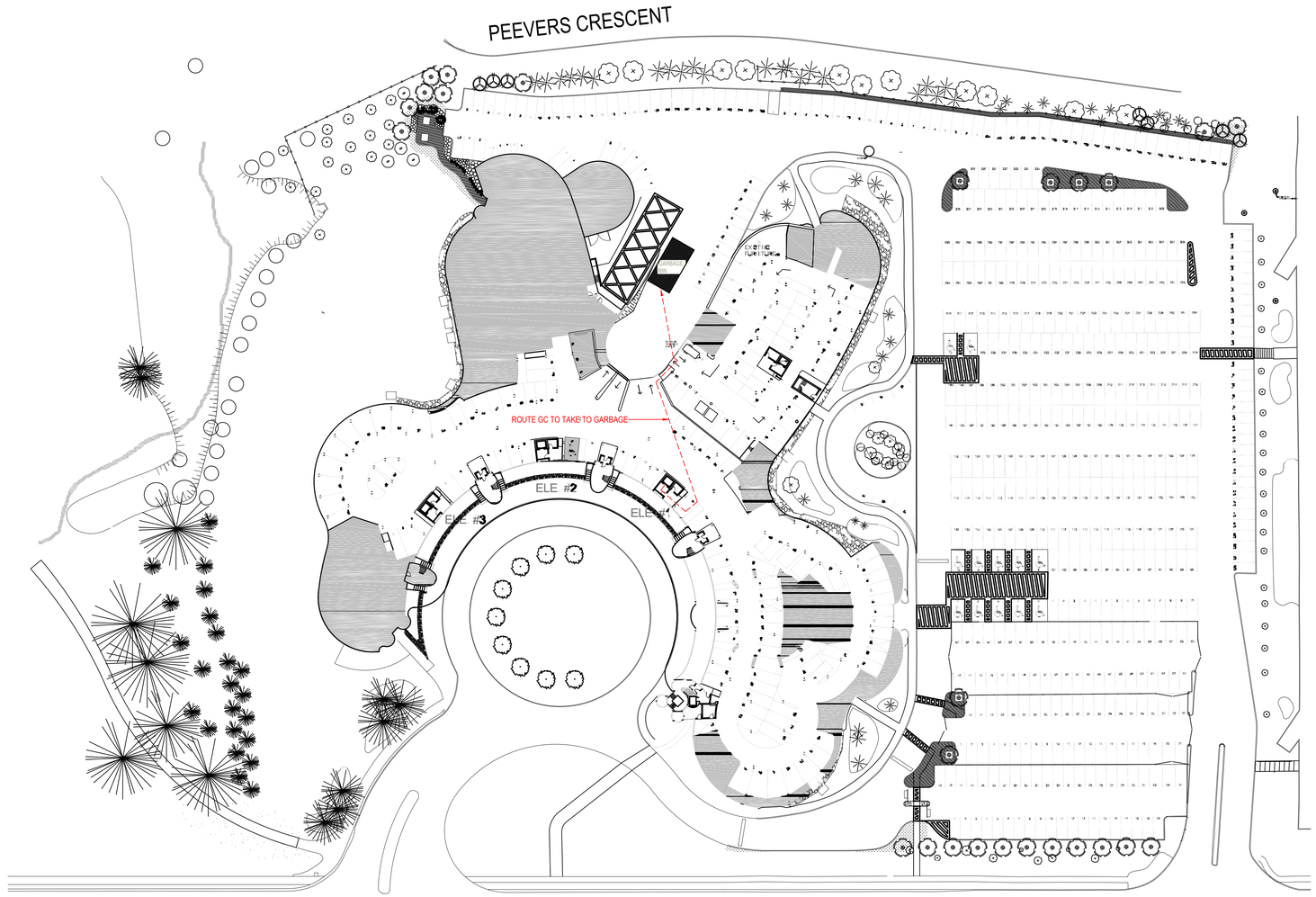
YORK REGION MUNICIPALITY CENTRE

ADDRESS:
17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5, CANADA

ITEM:	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE		
		PART 11	PART 3	PART 9
1	PROJECT DESCRIPTION MERCANTILE OCCUPANCY ☐ NEW ☐ ADDITIONAL ☒ ALTERATION; CHANGE OF USE ☐	11.3. TO 11.4.	3.1.2.1.	9.10.1.3.
2	MAJOR OCCUPANCY(S): GROUP D: BUSINESS AND PERSONAL SERVICES OCCUPANCIES		3.1.2.1.(1)	9.10.2.1 9.9.1.3.
3	BUILDING AREA (sqm): EXISTING		3.10.4.2.	
4	BUILDING GROSS AREA (sqm): EXISTING LEVEL / ZONE / SCOPE GROSS AREA (sqm): 2922.7 1 / B/C / GROSS AREA (sqm): 426.5 1 / B/C / GROSS AREA (sqm): 572.4 2 / B/D / GROSS AREA (sqm): 732 2 / B/C / GROSS AREA (sqm): 501.4 3 / B / GROSS AREA (sqm): 239		3.10.4.2.	
5	NUMBER OF STOREYS: EXISTING ABOVE GRADE: EXISTING BELOW GRADE: EXISTING		3.1.2.1. & 3.2.2.49.	9.10.2.1.
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1		3.2.2.10. & 3.2.5.	9.10.19.
7	BUILDING CLASSIFICATION: BUSINESS AND PERSONAL SERVICES OCCUPANCIES		3.2.2.49.	9.10.2.
8	SPRINKLER SYSTEM PROPOSED: ☐ ADDITIONAL ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☒ EXISTING MODIFICATIONS AS REQUIRED		3.2.5. 3.2.2.15. 3.2.2.17. 3.2.2.18.	9.10.8.
9	STANDPIPE EXISTING ☒ YES ☐ NO		3.2.9.2	N/A
10	FIRE ALARM EXISTING ☒ YES ☐ NO		3.2.4.	9.10.17.2.
11	WATER SERVICES/SUPPLY EXISTING ☒ YES ☐ NO		3.2.5.7.	N/A
12	HIGH BUILDING ☐ YES ☒ NO		3.2.6.1.	N/A
13	PERMITTED CONSTRUCTION ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE OR BOTH ACTUAL CONSTRUCTION ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE OR BOTH		3.2.2.49.	9.10.6.
14	OCCUPANT LOAD BASED ON: ☐ sqm / PERSON ☒ DESIGN OF BUILDING LEVEL 1 : 45 PERSONS LEVEL 1 : 61 PERSONS LEVEL 2 : 78 PERSONS LEVEL 2 : 53 PERSONS LEVEL 3 : 25 PERSONS		3.1.17.1	9.9.1.3.
15	BARRIER FREE DESIGN ☐ YES ☒ NO (EXISTING)		3.8.	9.5.2.2.
16	HAZARDOUS SUBSTANCES ☐ YES ☒ NO		3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)
17	REQUIRED FIRE RESISTANCE RATING (FRR) — HORIZONTAL ASSEMBLIES FRR (HOURS) / LISTED DESIGN NO. OR DESCRIPTION (SG-2)		3.2.2.49	
	FLOORS: EXISTING TO REMAIN		3.2.2.49	
	ROOFS: EXISTING TO REMAIN		3.2.2.49	
	MEZZANINE: EXISTING TO REMAIN		3.2.2.49	
	FRR OF SUPPORTING MEMBERS		3.2.2.49	

PLUMBING FACILITIES REQUIREMENTS:

STAFF & PUBLIC REQUIREMENTS (EXISTING):	ONTARIO BUILDING CODE REFERENCE:
ALL WASHROOMS ARE EXISTING TO REMAIN	O.B.C.3.7.4.9 WATER CLOSETS FOR INDUSTRIAL OCCUPANCY
WATER CLOSETS PROVIDED (EXISTING):	
ALL WASHROOMS ARE EXISTING TO REMAIN	O.B.C.3.7.4.9 WATER CLOSETS FOR INDUSTRIAL OCCUPANCY



1 / ID0.03.0 SITE PLAN
SCALE: N.T.S.

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NOTE

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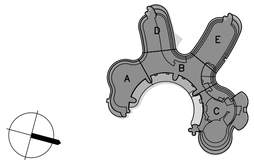
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
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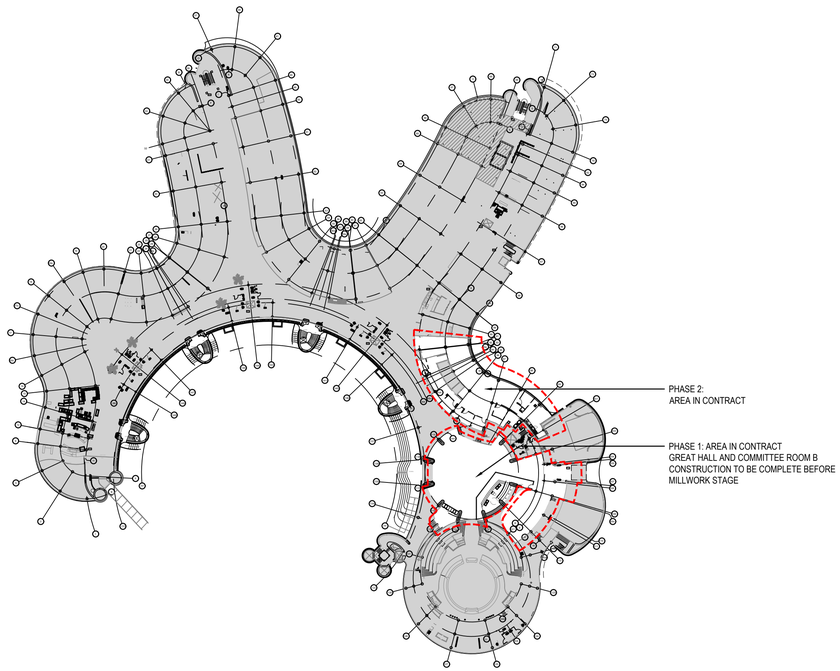
PROJECT
YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS
17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

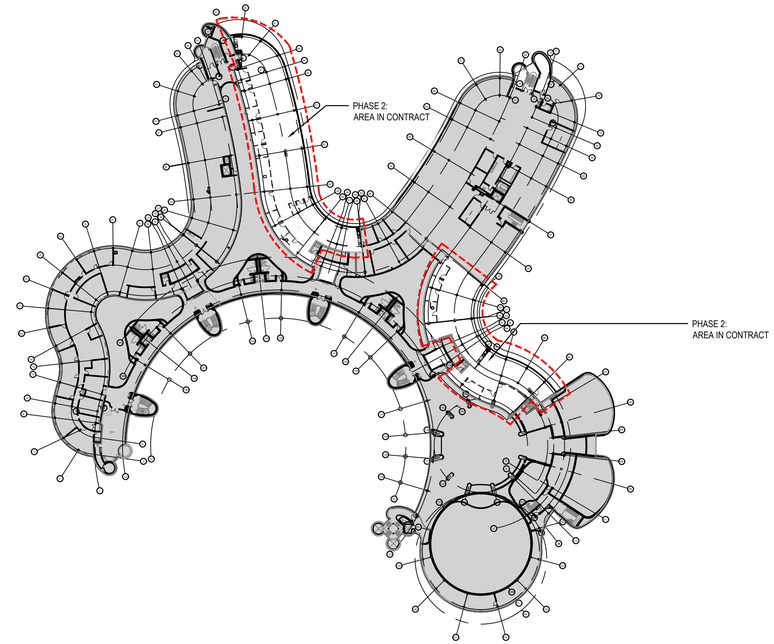
TITLE
BUILDING CODE ANALYSIS AND SITE PLAN

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

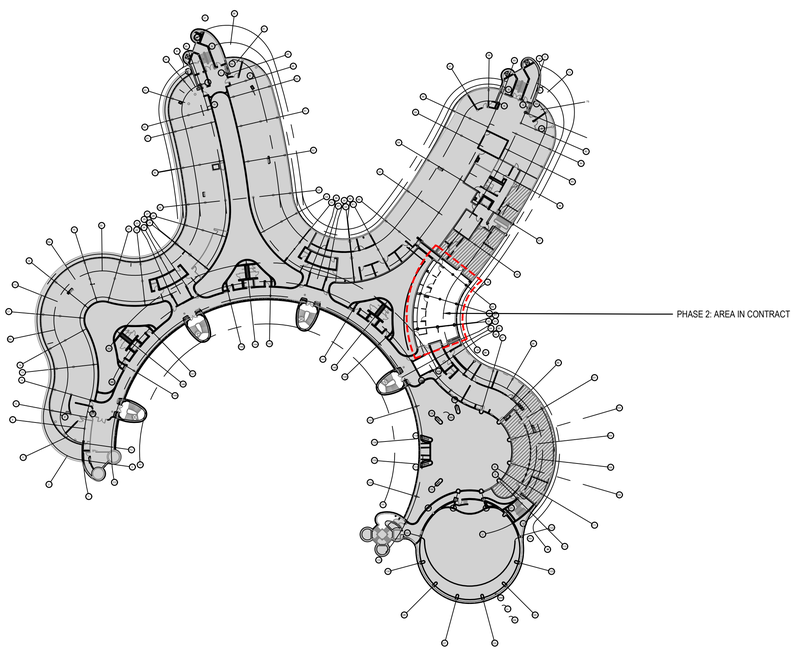
DRAWING NO. **ID0.03.0**
REVISION NO. 6



1 ID0.03.1 GROUND FLOOR KEY PLAN - AREA B/C: +/-430M² / AREA C: +/-560M²
SCALE: N.T.S.



2 ID0.03.1 SECOND FLOOR KEY PLAN - AREA B/D: +/- 710M² / AREA B/C/E: +/- 480M²
SCALE: N.T.S.



3 ID0.03.1 THIRD FLOOR KEY PLAN - AREA B/E: +/- 210M²
SCALE: N.T.S.

PHASING PLAN REVISE TO PENDING CONTRACTOR REVIEW

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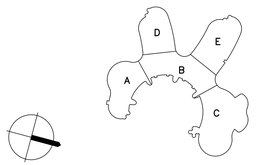
KEY PLAN



NO.	ISSUE/ REVISION	DATE
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5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

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YORK REGION
MUNICIPALITY CENTRE

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TITLE
PHASING PLANS

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DRAWING NO. ID0.03.1
REVISION NO. 6

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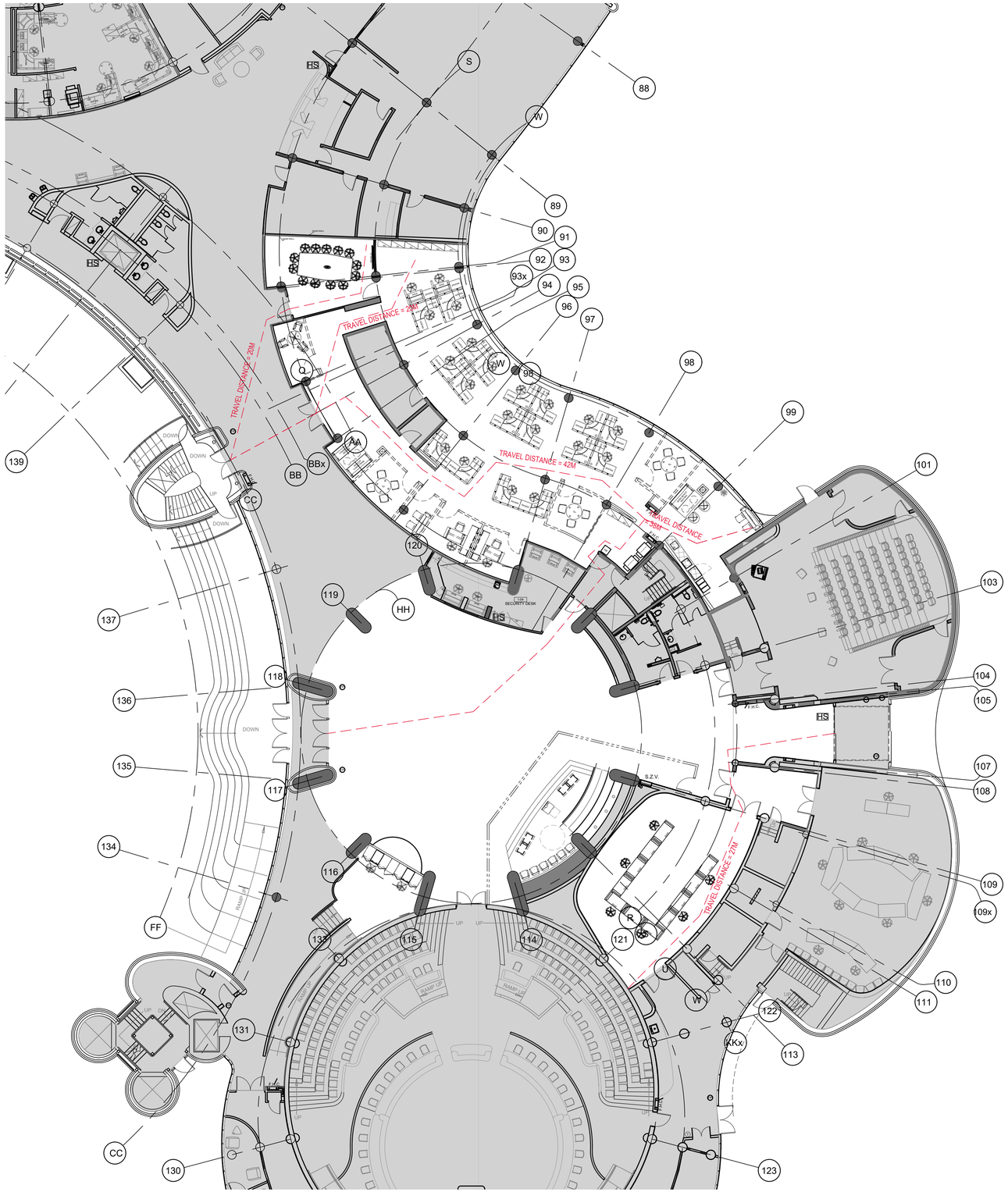

1 ID0.03.2 GROUND FLOOR LIFE SAFETY PLAN - AREA B/C

SCALE: 1:150

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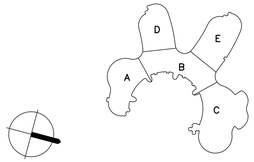

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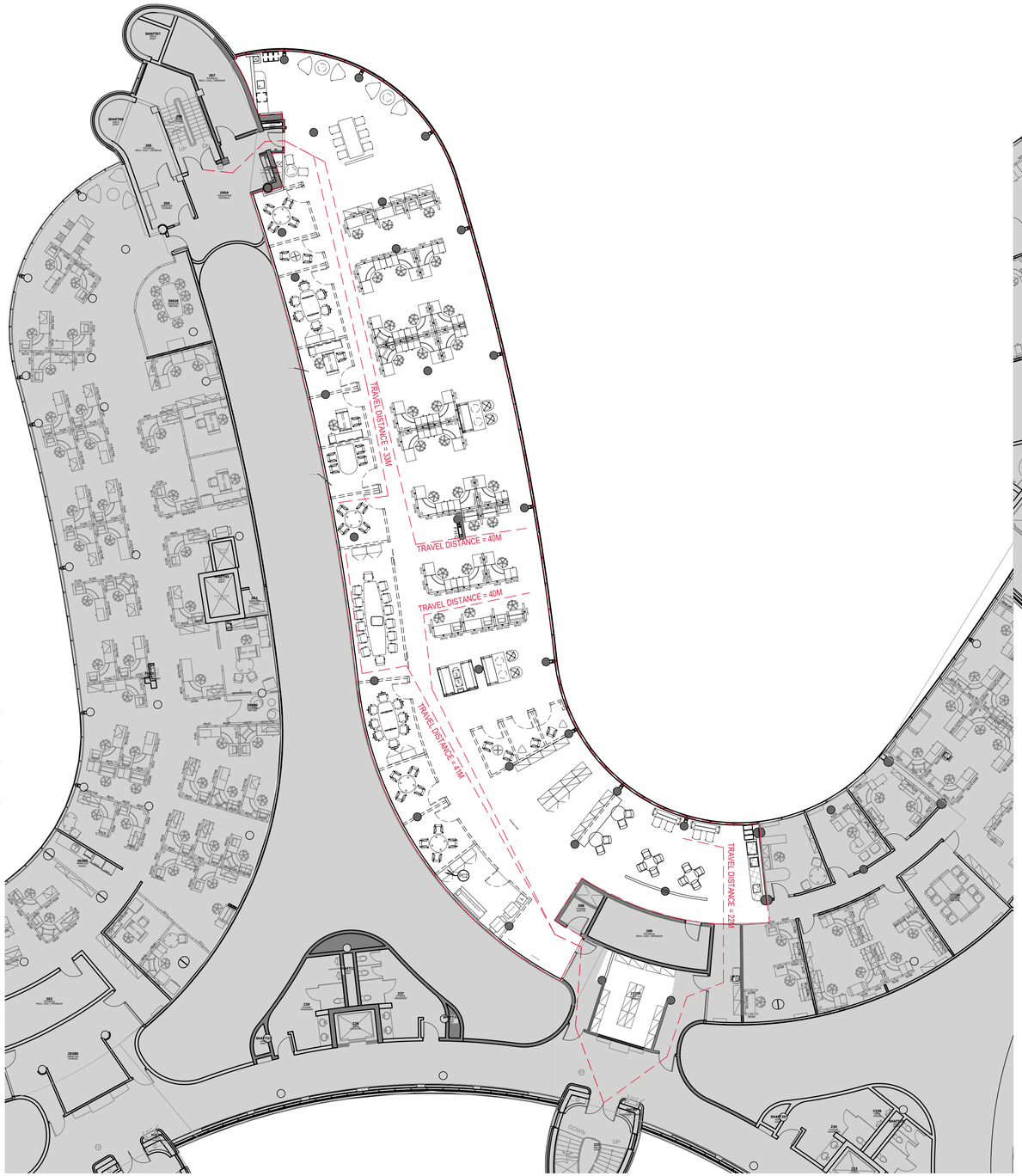

1 ID0.03.3 SECOND FLOOR LIFE SAFETY PLAN - AREA B/D

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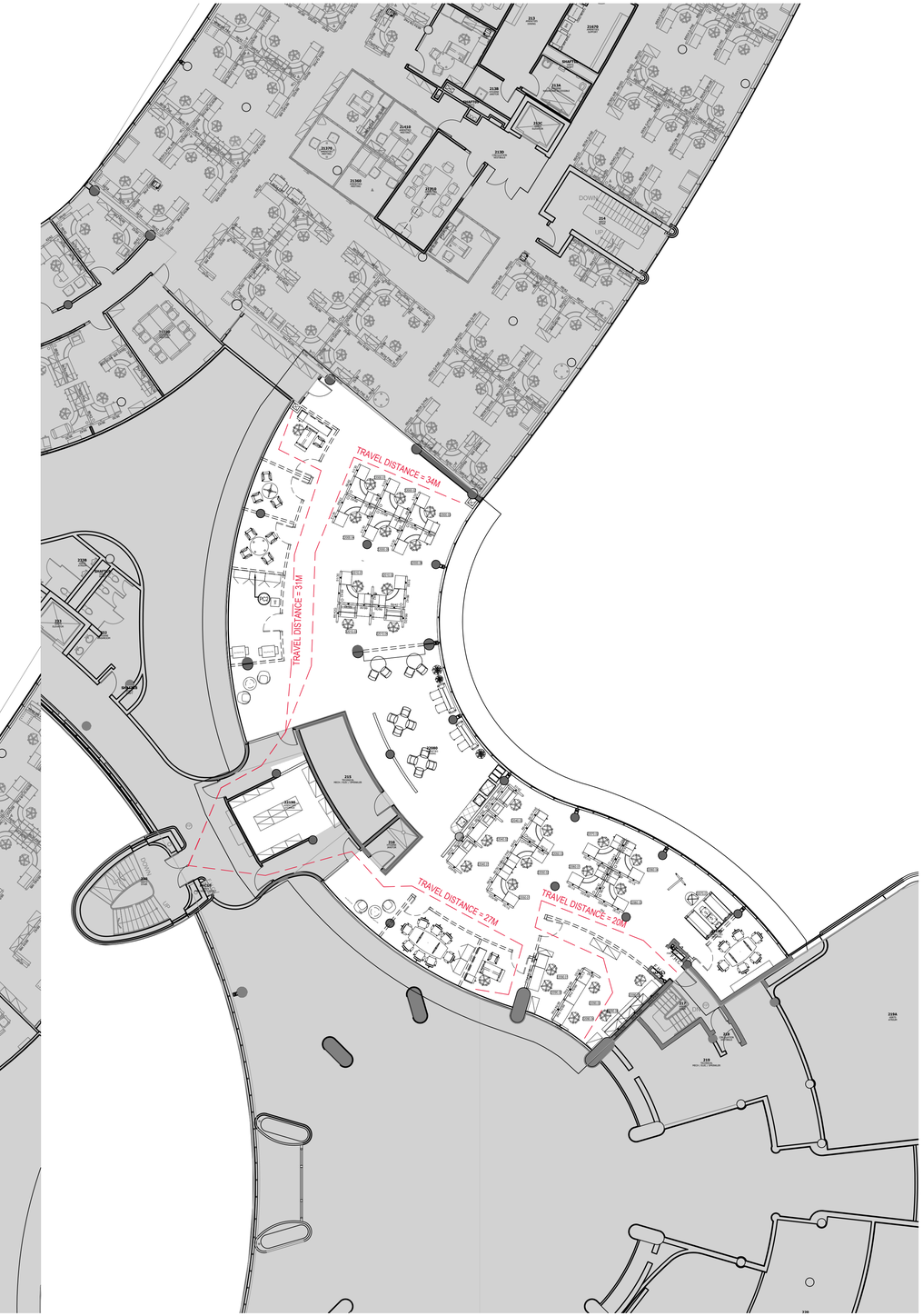

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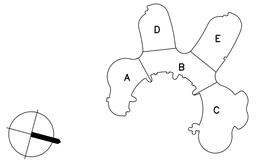

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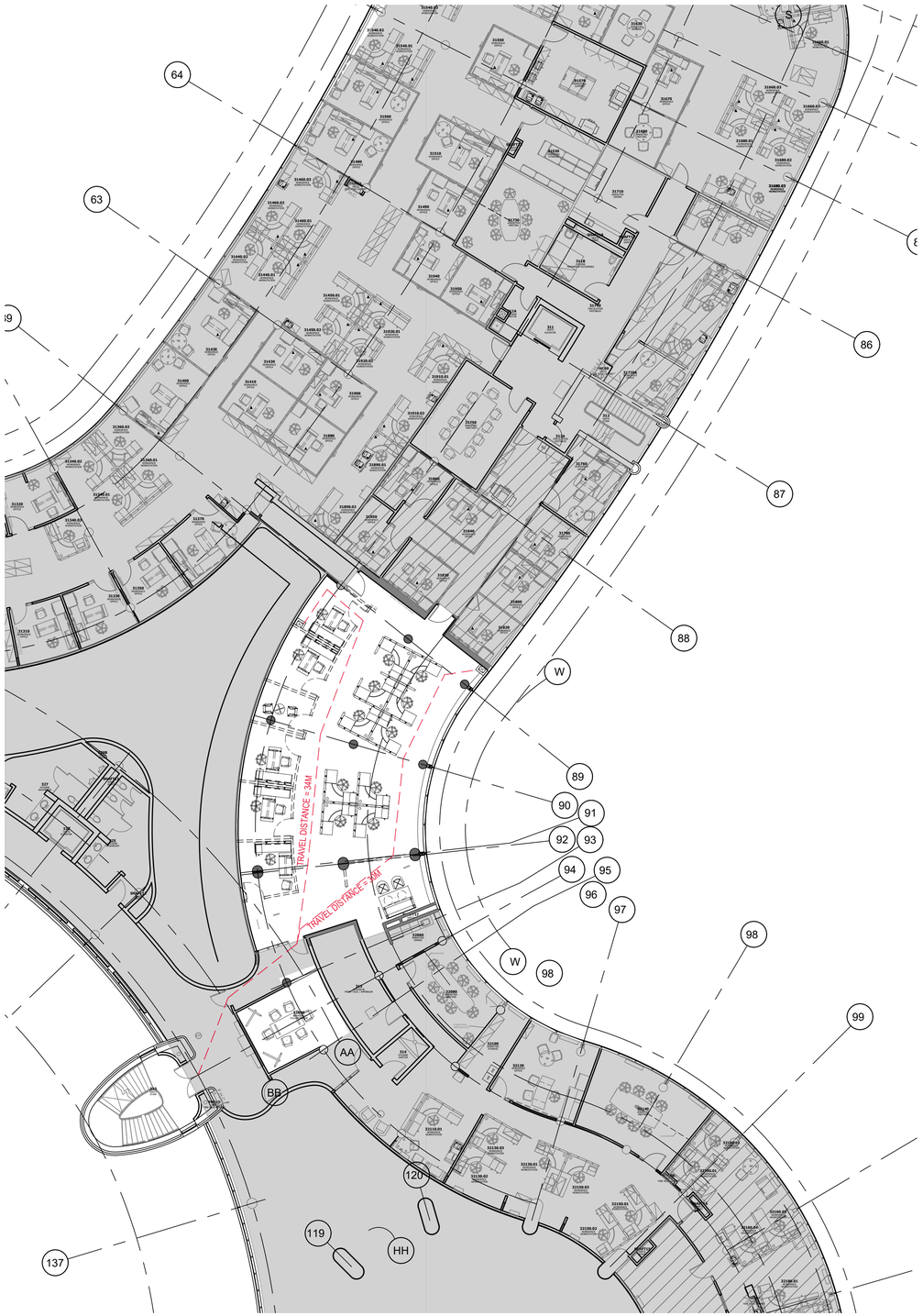

1 ID0.03.4 THIRD FLOOR LIFE AND SAFETY PLAN - AREA B/E

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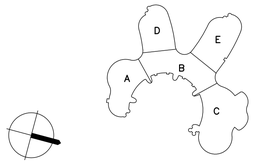

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OWNER TO CONFIRM HARDWARE REQUIREMENTS ON EXISTING AND ALTOS DOORS

DOOR AND FRAME SCHEDULE

			DOOR PARAMETERS							FRAME PARAMETERS					
DOOR NO	LOCATION	NEW/ EXISTING	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	STYLE	GLAZING	FINISH	FRAME TYPE	MATERIAL	FINISH	F.R.R.	HARDWARE GROUP	COMMENTS
FLOOR 1															
E12020A	AMENITIES MEETING	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E12020B	AMENITIES MEETING	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E12070	LOBBY	EXISTING	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E12130	OPEN WORKSTATION	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E121	MECH/ ELECTRICAL ROOM	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E122	HYGIENE JANITOR	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
D12080	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12120	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12150	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12160	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12170	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12180	ENCALVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D12220	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D140	HOARDING DOOR	NEW	HM	965	TO MATCH EXISTING	HM			PT-2	HM	HM	PT-2	1 HR		SECURITY TO BE COORDINATED WITH LANDLORD & GC
FLOOR 2															
E21000	CAFE CORNER & NEIGHBOURHOOD HUB	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E21160	ENTRANCE	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E208	HYGIENE JANITOR	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E209	MECH/ ELECTRICAL ROOM	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
D21100	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21120	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21130	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21170	BUSINESS CENTRE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21180	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21190	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21200	MEETING ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21210A	BOARDROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21210B	BOARDROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21220	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21230	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21240	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21250	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21260	MEETING ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21270	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D21280	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
E22000	OPEN WORKSTATION	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
E22120	LOBBY	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
E22130	LOBBY	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
E215	MECH/ ELECTRICAL ROOM	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
E216	HYGIENE JANITOR	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
E217	STAIRS	EXISTING	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX	EX	
D22080	MEETING ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22090	PW TECH SPACE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22100	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22110	MEETING ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22140	BUSINESS CENTRE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22150	ENCLAVE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22160	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D22170	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
FLOOR 3															
E32000A	OPEN WORKSTATION	EX	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX		ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E32000B	OPEN WORKSTATION	EX	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX		ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
E32030	ENTRANCE	EX	EX	EX	EX	EX	EX	EX	PT-2	EX	EX	PT-2	EX		ENSURE HARDWARE IS IN PROPER WORKING ORDER, ALERT DESIGNER AND OWNER WITH ANY DISCREPANCIES
D32040	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D32050	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D32060	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D32070	TELEPHONE ROOM	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D32080	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS
D32090	OFFICE	NEW	TEKNION ALTOS	965	TO MATCH EXISTING										COORDINATE EXACT DOOR, FRAME AND HARDWARE WITH TEKINON DRAWINGS

ALL HARDWARE FOR NEW CONVENTIONAL DOORS TO MATCH EXISTING BASE BUILDING STANDARD, FINISH AND FUNCTION.
OWNER AND CONSULTANT TO REVIEW HARDWARE PRIOR TO ORDER.
HOARDING DOOR: SECURITY TO BE COORDINATED WITH LANDLORD AND GC

DOOR SCHEDULE ABBREVIATIONS

AL	-	ALUMINUM	MDF	-	MEDIUM DENSITY FIBREBOARD
ACV	-	ALUMINUM CLAD VINYL	PL	-	PLASTIC LAMINATE
AN	-	ANODIZED	PS	-	PRESSED STEEL
CLG	-	CLEAR LAMINATED GLASS	PSI	-	PRESSED STEEL INSULATED
DWL	-	DIFFUSED WHITE LAMINATE GLASS	PT/PTD	-	PAINT/PAINTED
EXST	-	EXISTING CONDITION	RM	-	ROLLING METAL
FG	-	FRAMELESS GLASS	SCW	-	SOLID CORE WOOD
FLG	-	FROSTED LAMINATE GLASS	ST	-	STEEL
FRC	-	FIRE RATED CORE	TPG	-	TEMPERED GLASS
FRG	-	FIRE RATED GLASS	TSG	-	TOUGHENED SAFETY GLASS
HM	-	HOLLOW METAL	VLG	-	VINYL LAMINATED GLASS
HMI	-	HOLLOW METAL INSULATED	WD	-	WOOD
HCW	-	HOLLOW CORE WOOD	WG	-	WIRED GLASS
LQ	-	LACQUER SPRAYED	WV	-	WOOD VENEER
MCW	-	MINERAL CORE WOOD	WWM	-	WELDED WIRE MESH

HARDWARE NOTES

1. REFER TO FINISH SCHEDULE FOR DESCRIPTION OF FINISHES AND COLORS.
2. THE DOOR HARDWARE SCHEDULE IS TO BE USED AS A GUIDE ONLY. HARDWARE SUPPLIER TO PROVIDE FULL AND COMPLETE HARDWARE SCHEDULE AND SPECIFICATION FOR REVIEW BY DESIGNER PRIOR TO ORDERING ANY HARDWARE
3. DOORS TO BE KEYED TO BASE BUILDING

DOOR NOTES

1. GIC TO ENSURE THAT DEMOUNTABLE DOORS AND HARDWARE ARE COORDINATED WITH TEKNION WALL VENDOR.
2. DOORS AND DOOR FRAME ARE TO BE INCLUDED IN THE BASE BID. PROVIDE A CASH ALLOWANCE FOR HARDWARE AS REQUIRED.

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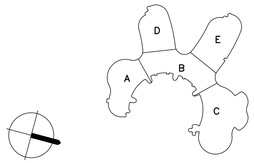

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DOOR SCHEDULE

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. ID0.04

REVISION NO. 6

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FINISH SCHEDULE

FLOOR FINISHES

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
CP-1	CARPET TILE	TARKETT	APPLAUSE III	FOOTHILL	-	28521	24" x 24"		-	KARINA GARCIA-ANGELIDIS, KARINA.GARCIAANGELIDIS@TARKETT.COM, 647-542-2514	GENERAL, OFFICES
CP-2	CARPET TILE (COMMITTEE ROOMS)	INTERFACE	STEP THIS WAY	EBONY	-	106325	24" x 24"		-	SARAH MALOTT, SARAH.MALOTT@INTERFACE.COM, 416-998-9832	COMMITTEE ROOM B, CAO & CHAIR SPACE
CP-3	CARPET TILE (ATRIUM)	TARKETT	GROUNDED HARMONY	KINSHIP	-	A0043-24704	24" x 24"		-	KARINA GARCIA-ANGELIDIS, KARINA.GARCIAANGELIDIS@TARKETT.COM, 647-542-2514	GREAT HALL
RS-1	RESILIENT FLOORING	TARKETT	LATITUDE WOOD	GOLDEN OAK	-	251177043-7539	48" X 6"		-	KARINA GARCIA-ANGELIDIS, KARINA.GARCIAANGELIDIS@TARKETT.COM, 647-542-2514	KITCHENETTE/SERVERY FLOOR
WM-1	WALK OFF MAT	VIFLOOR	SUPER SERIES	1174		1174	-			MICHAEL CHISHOLM, MCHISHOLD@VIFLOOR.COM, (416) 521-9014#224	GREAT HALL ENTRY

WALL BASE

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
B-1	VINYL BASE	TARKETT/JOHNSONITE		71 STORM	-	TRADITIONAL WALL BASE	4.25" X 0.25"			KARINA GARCIA-ANGELIDIS, KARINA.GARCIAANGELIDIS@TARKETT.COM, 647-542-2514	

WALL FINISHES

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
AF-1	ACOUSTIC FELT	INTERIOR FELT		163 MIDNIGHT		163		SURFACE APPLIED		JULIE SANTOS, JULIES@INTERIORFELT.COM +1-844-312-3358	FOR GREAT HALL STAGE EXPANSION
AF-2	ACOUSTIC FELT	INTERIOR FELT		384 CHARCOAL		384		SURFACE APPLIED		JULIE SANTOS, JULIES@INTERIORFELT.COM +1-844-312-3358	FOR GREAT HALL STAGE EXPANSION
PT-1	FIELD PAINT	DULUX PPG		COMMERCIAL WHITE	EGGSHELL	70YY 83/037 / DLX 1025-1	-	-	-	ALPANA ANSILIO, ALPANA.ANSILIO@PPG.COM, 416-436-3681	LOW VOC
PT-2	DOOR & DOOR FRAME PAINT	DULUX PPG		GRAY SHADOW	SEMI-GLOSS	10YY 54/034 / A1782	-	-	-	ALPANA ANSILIO, ALPANA.ANSILIO@PPG.COM, 416-436-3681	LOW VOC
PT-3	DELETED										
PT-4	CEILING PAINT	BENJAMIN MOORE		CHALK WHITE	FLAT	2126-70	-	-	-	DANIELLE DENT, DANIELLE.DENT@BENJAMINMOORE.COM, 647-546-3973	LOW VOC
PT-6	GROUND FLOOR ACCENT PAINT	DULUX PPG		PARACHUTE	EGGSHELL	PPG1218-5	-	-	-	ALPANA ANSILIO, ALPANA.ANSILIO@PPG.COM, 416-436-3681	LOW VOC
PT-7	SECOND FLOOR ACCENT PAINT	DULUX PPG		RED CLAY	EGGSHELL	PPG16-32	-	-	-	ALPANA ANSILIO, ALPANA.ANSILIO@PPG.COM, 416-436-3681	LOW VOC
PT-8	STAGE EXPANSION MILLWORK PAINT	DULUX PPG	PITT-GLAZE WB1 16-1310C SERIES	BLACK MAGIC	EGGSHELL	DLX1001-7	-	-	-	ALPANA ANSILIO, ALPANA.ANSILIO@PPG.COM, 416-436-3681	LOW VOC
TL-1	WALL TILE	OLYMPIA STONE & TILE	COLOUR & DIMENSIONS	ARCTIC WHITE	BRIGHT	QT.CD.ARW.0624.BR.NR	150MM X 600MM	VERTICAL STACKED	MAPEI -38 AVALANCHE	RITA O'HARA, R.OHARA@OLYMPIATILE.COM, 416-785-9555#1373	EXPOSED EDGES TO BE FINISHES IN TR-1 NON YELLOWING CLEAR CAULKING WHERE BACKSPLASH MEETS COUNTERTOP

SPECIALTY FINISHES

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
GLF-1	GLAZING FILM	3M	SCOTCHACAL ELECTROCUT SPECIAL EFFECTS FILM	DUSTED CRYSTAL	TRANSLUCENT OPACITY, TRANSPARANT SYTHETIC LINER	7725SE-314	48"	UP TO 48" FROM WINDOW SILL HEIGHT	-	MONIKA SAWICKA, mawawicka@mmm.com, 647-298-9003	ON ATRIUM-FACING WINDOWS ONLY CLEAR PRESSURE SENSTIVE ADHESIVE OR EQUIVALENT
GLF-2	GLAZING FILM	3M			OPAQUE				-	MONIKA SAWICKA, mawawicka@mmm.com, 647-298-9003	FOR ATRIUM-FACING WINDOWS WITH VENT SHAFTS. REFER TO 3/ID0.07
TR-1	TILE EDGE	SCHLUTER	JOLLY	STAINLESS STEEL							
TR-2	CARPET TO RESILIENT FLOORING	SCHLUTER	SCHIENE	STAINLESS STEEL							

MILLWORK FINISHES

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
M-1	MIRROR	TBC									REFER TO ELEVATIONS FOR MIRROR DIMENSIONS
ML-1	MELAMINE										CABINET INTERIORS
MTL-1	METAL	OCTOPUS PRODUCTS	OCTOLUX	STAINLESS ALUMINUM	-	15				LESLIE DUQUETTE LDUQUETTE@OCTOPUSPRODUCTS.COM, 416-531-5051	TO MATCH EXISTING SECURITY DESK TOE KICK
PL-1	PLASTIC LAMINATE	FORMICA		PLANKED URBAN OAK	NATURAL GRAIN (NG)	9312				CRISTINA LESSER CRISTING.LESSER@FORMICA.COM, 416-592-0664	MATCHING EDGEBANDING / 2mm PVC EDGE BANDING
PL-2	PLASTIC LAMINATE	FORMICA		MILK	MATTE (58)	9634				CRISTINA LESSER CRISTING.LESSER@FORMICA.COM, 416-592-0664	MATCHING EDGEBANDING / 2mm PVC EDGE BANDING
WD-1	SOLID WOOD	MMI TORONTO	MAPLE	CLEAR	SATIN					BORIS KUR, BKUR@MMI-TORONTO.COM, (416) 746-9711#331	TO MATCH EXISTING SECURITY DESK
WV-1	WOOD VENEER	MMI TORONTO	MAPLE	CLEAR	SATIN					BORIS KUR, BKUR@MMI-TORONTO.COM, (416) 746-9711#331	TO MATCH EXISTING SECURITY DESK

MILLWORK COUNTERTOPS

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
SS-1	SOLID SURFACE	CORIAN	SOLID SURFACE	ARCTIC ICE	-	SV	12MM	19MM PLY SUBSTRATE	-	ANDREA GUSPIE, ANDREAG@4WILLIS.COM, 365-324-4926	PENCIL EDGE

MILLWORK HARDWARE

TAG	PRODUCT	MANUFACTURER	SERIES/SPECIES	COLOR	FINISH	PRODUCT CODE	SIZE (L x W x H)	INSTALLATION	GROUT	CONTACT	COMMENTS
HW-1	MILLWORK PULL	RICHELIEU	MODERN PULL	STAINLESS STEEL	-	BP527160195	160MM	-	-		
HW-2	RING PULL	RICHELIEU	-	STAINLESS STEEL	ZINC	144XV	76.3MM	-	-		
HW-3	POCKET SLIDE L	RICHELIEU	HAWA CONCEPTA 25	ALUMINUM	SATIN	18927638	-	-	-		
HW-4	POCKET SLIDE R	RICHELIEU	HAWA CONCEPTA 25	ALUMINUM	SATIN	18927639	-	-	-		
HW-5	GROMMET	RICHELIEU	-	BLACK	POLYPROPYLENE	76090	76MM	-	-		
HW-6	CABLE CLAMPS	RICHELIEU	-	BLACK	PLASTIC	16911690	65MM W X 30MM H	-	-		

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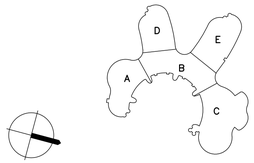
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FINISHES SCHEDULE

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID0.05

REVISION NO.

6

EQUIPMENT SPECS TO BE CONFIRMED WITH OWNER

FIXTURES & EQUIPMENT SCHEDULE

NOTE: ALL FIXTURES AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE

APPLIANCES

TAG	PRODUCT	MANUFACTURER	MODEL	COLOR/FINISH	SIZE (L x W x H)	CONTACT	COMMENTS
EQ1	FRIDGE	HISENSE	RB17A2CWE	WHITE	790MM X 599MM X 1740MM	-	COUNTER DEPTH BOTTOM MOUNT REFRIGERATOR
EQ2	UNDER COUNTER FRIDGE	ZEPHYR	PRB24C01AS-ADA	STAINLESS STEEL	803MM X 606MM X 587MM	-	UNDER COUNTER ADA COMPLIANT FRIDGE
EQ3	MICROWAVE	PANASONIC	NN-SN736W	WHITE	555MM X 304MM X 493MM	-	TYP. SERVERY/KITCHENETTE MICROWAVE

ACCESSORIES

TAG	PRODUCT	MANUFACTURER	MODEL	COLOR/FINISH	SIZE (L x W x H)	CONTACT	COMMENTS
EQ4	23 GAL WASTE BIN W/ HINGE LID	SWISH MAINTENANCE LTD	3540-60-B & 2674	BLACK	22" X 11" X 30"		KITCHENETTES/SERVERIES, BOARDROOMS, LARGE MEETING ROOMS
EQ5	23 GAL RECYCLING BIN W/ HINGE LID	SWISH MAINTENANCE LTD	3540-BLU & 2674	BLUE	22" X 11" X 30"		KITCHENETTES/SERVERIES, BOARDROOMS, LARGE MEETING ROOMS
EQ6	23 GAL ORGANICS BIN W/ HINGE LID	SWISH MAINTENANCE LTD	3540-GRN & 2674	GREEN	22" X 11" X 30"		KITCHENETTES/SERVERIES, SUPPLIED BY YORK REGION
EQ7	2.25 GAL BATTERY RECYCLING BIN	BUSCH SYSTEMS	BATBIN-24BO	BROWN	8.5" X 9" X 11"		KITCHENETTES/SERVERIES
EQ8	1 GAL WASTE CADDY						DO NOT SUPPLY DESK SIDE WASTE ADDIES AND RECYCLING BINS AT THE DESK. D
EQ9	7 GAL RECYCLING BIN						SUPPLIED BY YORK REGION.
EQ10	7 GAL WASTE BIN	SWISH MAINTENANCE LTD	2956-BK	BLACK	14.5" X 10.5" X 15"		SMALL MEETING ROOM
EQ11	23 GAL RECYCLING BIN W/ HINGE LID	SWISH MAINTENANCE LTD	3540-BLU & 2703	BLUE	22" X 11" X 30"		BUSINESS CENTRES
EQ12	SINGLE ROLL/ FOLD PAPER TOWEL DISPENSOR	SWISH MAINTENANCE LTD	5050	WHITE	10.6"x 9.7" x 6.9"		KITCHENETTES
EQ13	SOAP DISPENSER	SWISH MAINTENANCE LTD	9330	WHITE			KITCHENETTES

PLUMBING FIXTURES

TAG	PRODUCT	MANUFACTURER	MODEL/STYLE	SHADE	SIZE (L x W x H)	CONTACT	COMMENTS
S-1	SINGLE BOWL COMMERCIAL SINK	FRANKE	UCS6805P-1	STAINLESS STEEL	511MM X 460MM X 127MM	-	TYP. SERVERY/KITCHENETTE/CAFÉ SINK
	COLONY PRO KITCHEN FAUCET	AMERICAN STANDARD	7074.100	POLISHED CHROME		-	TYP. SERVERY/KITCHENETTE/CAFÉ FAUCET

WINDOW TREATMENTS

TAG	PRODUCT	MANUFACTURER	MODEL/STYLE	SHADE	FASCIA	CONTACT	COMMENTS
WT-EX	EXISTING VERTICAL BLINDS	-	-	-	-	-	EXISTING VERTICAL BLINDS TO REMAIN. PROTECT DURING DEMOLITION & CONSTRUCTION.

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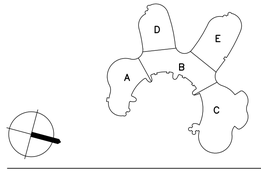
KEY PLAN



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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

EQUIPMENT & MILLWORK SCHEDULE

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID0.06

REVISION NO.

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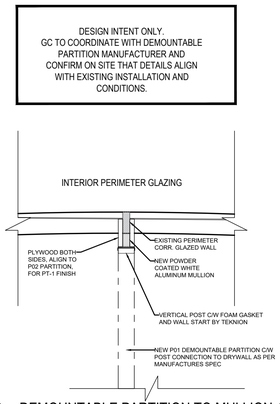

1 ID0.07 DEMOUNTABLE PARTITION TO MULLION @ EXISTING FRAME

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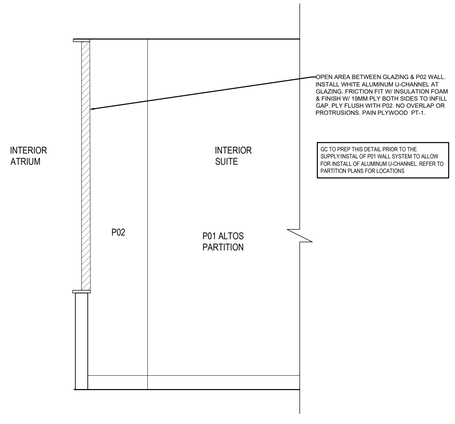
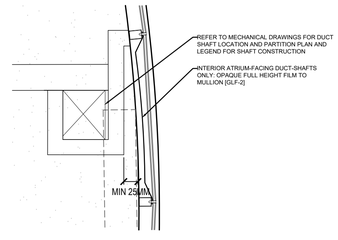


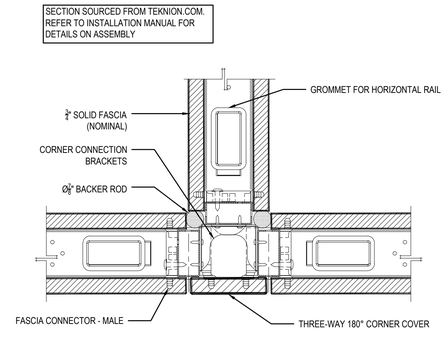
2 ID0.07 TYPICAL ALTOS WALL AT GLAZING

SCALE: N.T.S.



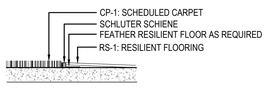
3 ID0.07 TYP. WINDOW-FACING DUCT SHAFT CALLOUT

SCALE: N.T.S.



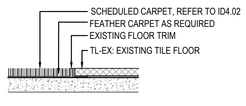
4 ID0.07 P01 - SECTION THROUGH THREE-WAY 180° CORNER

SCALE: N.T.S.



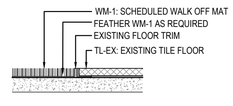
5 ID0.07 TR-2: CARPET TO RESILIENT FLOOR TRANSITION

SCALE: 1:4



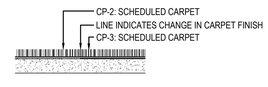
6 ID0.07 TR-3: CARPET TO TILE TRANSITION

SCALE: 1:4



7 ID0.07 TR-4: WALK OFF MAT TO TILE TRANSITION

SCALE: 1:4



8 ID0.07 TR-5: CARPET TO CARPET TRANSITION

SCALE: 1:4

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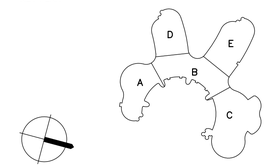

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ID0.07

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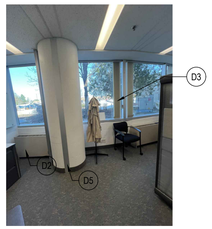
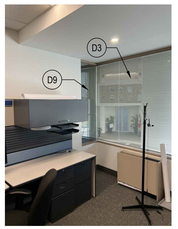
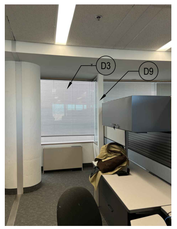
1 ID1.01 DEMOLITION PLAN - GROUND FLOOR PARTIAL: AREA B/C
SCALE: 1:100



2 ID1.01 TYP. DEMOLITION PHOTO EXISTING SPACE
SCALE: N.T.S.





3 ID1.01 TYP. DEMOLITION PHOTO EXISTING SPACE
SCALE: N.T.S.

DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING SWING DOOR AND FRAME TO REMAIN. HARDWARE TO REMAIN U.N.O. REPAIR ANY DAMAGE AS REQUIRED.
- EXISTING GWB WALLS, PLENUM BARRIERS ABOVE TO BE REMOVED.
- EXISTING MILLWORK TO BE DEMOLISHED.
- DOOR, FRAME, HARDWARE AND SIDELITE TO BE REMOVED

DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. WHERE EXISTING PARTITIONS, GLAZING, DOORS, ETC. ARE TO BE DEMOLISHED, PROTECT ANY ADJACENT SURFACES-TO-REMAIN AND PATCH/ MAKE READY TO RECEIVE NEW FINISHES/CONSTRUCTION.
5. REMOVE ANY VINYL LETTERING AND SIGNAGE, U.N.O.
6. EXISTING BASE BUILDING WINDOW COVERINGS AT EXTERIOR PERIMETER TO REMAIN UNLESS NOTED OTHERWISE. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.
7. REMOVE ALL EXISTING FURNITURE, FIXTURES, AND EQUIPMENT, UNLESS NOTED OTHERWISE. OWNER TO PROVIDE LIST OF AND DIRECTION FOR ITEMS TO BE STORED PRIOR TO COMMENCEMENT OF DEMOLITION.
8. REMOVE EXISTING NON-RATED COLUMN FURRING WHERE POSSIBLE. COORDINATE REPAIR OF ALL DAMAGED FIRESPRAY ON ANY EXPOSED COLUMNS WHERE APPLICABLE.
9. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SCOPE OF THEIR RESPECTIVE REMOVAL AND DEMOLITION.
10. FIRE RATED MECHANICAL/PLUMBING CHASE WALLS TO REMAIN. INTEGRITY OF ALL RATED ENCLOSURES TO BE MAINTAINED.
11. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
12. REMOVE ALL EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. TAKE CARE IN REMOVAL, RECYCLE, CAP EXISTING PLUMBING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
13. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
14. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
15. EXTERIOR PERIMETER BLINDS TO REMAIN. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION PLAN KEYNOTES

D1 REMOVE ALL ATTACHEMENTS THROUGHOUT, INCLUDING WHITE BOARDS, TACK BOARDS, ETC. RETURN TO OWNER FOR POTENTIAL RE-USE. PATCH AND REPAIR ALL SURFACES AND MAKE GOOD FOR NEW FINISHES.

D2 EXISTING CONVECTOR TO BE REMOVED. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR COORDINATION. GC TO ALLOW FOR EXTENSIVE PATCHSAND/PAINT OF CEILINGS AT FLOORS BELOW WHERE CONVECTORS ARE BEING REMOVED AND CAPPED AT SOURCE.

D3 EXISTING HORIZONTAL BLINDS AND ASSOCIATED COMPONENTS AT INTERIOR PERIMETER GLAZING TO BE REMOVED. PATCH AND REPAIR CEILING AS NEEDED.

D4 ALL FLOOR FINISHES, WALL BASE, TRANSITIONS AND ASSOCIATED ADHESIVES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH, REPAIR AND SKIM FLOOR AS NEEDED. MAKE GOOD FOR NEW.

D5 METAL TRIMS AND EXPANSION JOINTS TO REMAIN, PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

D6 ALL EXISTING WALL FINISHES (WALL PAPER, WALL VINYL, ETC) TO BE REMOVED THROUGHOUT. PATCH AND REPAIR TO MAKE GOOD FOR NEW PAINT FINISH.

D7 REMOVE EXISTING KITCHEN, INCLUDING ALL MILLWORK AND PLUMBING FIXTURES. REFER TO CONSULTANTS DRAWINGS FOR MORE INFORMATION.

D8 SERVER/DATA ROOM TO REMAIN SEALED DURING CONSTRUCTION. GC TO ENSURE NO DUST MIGRATES TO SERVER/DATA ROOM. GC TO PLACE BREATHABLE CLOTH OVER DATA RACKS.

D9 REMOVE EXISTING GYPSUM NIB WALL AND GLAZING. PATCH AND REPAIR WALL AND REINSTATE MILLWORK LEDGE. (TOP AND BOTTOM) BY FITTING NEW AND EXISTING MILLWORK SILLS TOGETHER. ALLOW FOR +/- 1000MM LINEAR NEW MILLWORK PER FIN LOCATION. MAKE GOOD ALL SURFACES.

D10 WHERE FAN COILS ARE REMOVED, PATCH AND REPAIR C/W FIRE RATED FIRE STOPPING AS NEEDED. REFER TO STRUCTURAL DRAWINGS 4/S-100

D11 FLOORING AT ENTRANCES TO BE PROTECTED. LAY DOWN RAM BOARD OVER ALL EXPOSED CARPET. ENSURE NOT DUST OR DEBRI REACHES EXISTING CARPET THROUGHOUT ALL CONSTRUCTION PERIOD.

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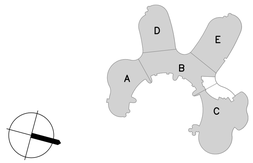
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION PLAN GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID1.01**

REVISION NO. 6

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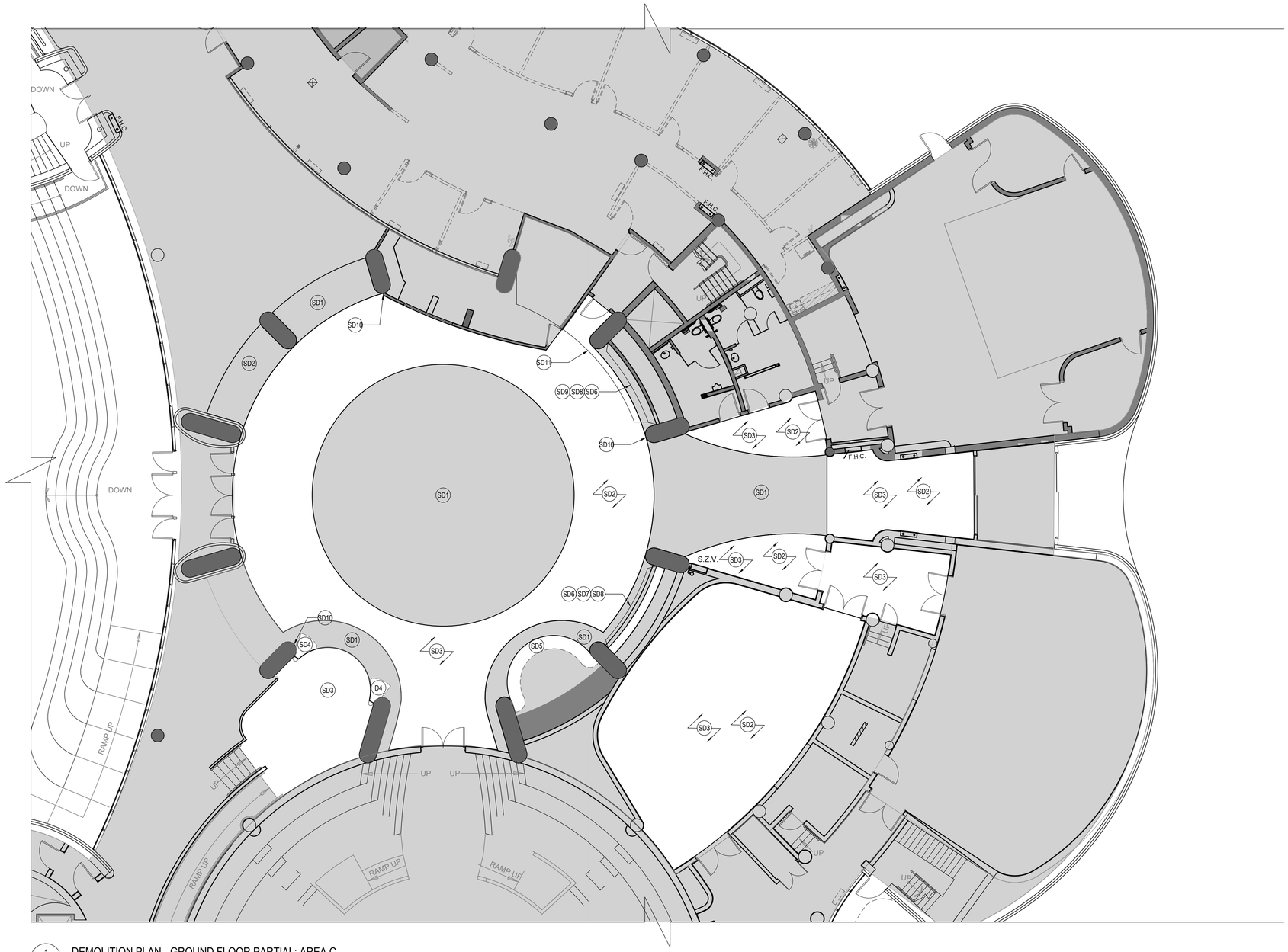

1 ID1.02 DEMOLITION PLAN - GROUND FLOOR PARTIAL: AREA C

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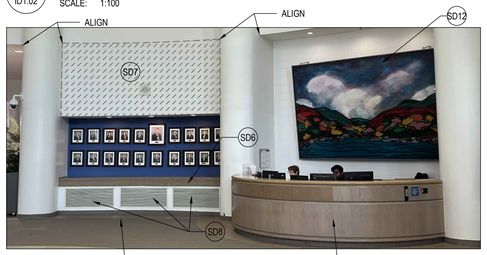
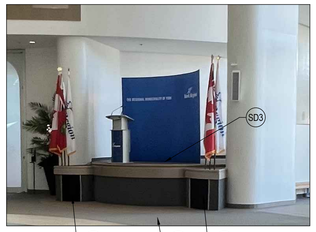


2 ID1.02 DEMOLITION PHOTO GREAT HALL - NEW STAGE AREA

SCALE: N.T.S.



3 ID1.02 DEMOLITION PHOTO - EXISTING STAGE

SCALE: N.T.S.

4 ID1.02 DEMOLITION PHOTO - COUNTER

SCALE: N.T.S.

5 ID1.02 DEMOLITION PHOTO - STAGE LIGHTING

SCALE: N.T.S.

DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING SWING DOOR TO REMAIN.
- EXISTING CARPET TILE TO BE DEMOLISHED.

DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. ALL FLOOR FINISHES AND WALL BASE AND ASSOCIATED ADHESIVES ARE TO BE REMOVED U.N.O. PREPARE SLAB TO RECEIVE NEW FINISHES. SALVAGE FULL CARPET TILES IN GOOD CONDITION FOR POTENTIAL REUSE.
5. THIS PLAN IS FOR FLOOR FINISHES DEMOLITION ONLY.
6. NIGHT WORK ONLY; ONLY REMOVE CARPET TILES AS MUCH AS CONTRACTOR CAN REPLACE IN SAME NIGHT. PUBLIC AND STAFF WILL NEED TO WALK ON NEW CARPET ON THE NEXT DAY.

DEMOLITION PLAN KEYNOTES STAGE EXPANSION

- SD1 EXISTING FLOOR TILE TO REMAIN. PROTECT FLOOR DURING DEMOLITION.
- SD2 GC TO REVIEW CONDITION OF EXISTING FLOOR TRANSITION. PROVISION FOR NEW TR-1 TRANSITION TO MATCH EXISTING AS NEEDED FOR NEW CARPET.
- SD3 ALL CARPET, WALL BASE, TRANSITIONS AND ASSOCIATED ADHESIVES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. PREP/SKIM FLOOR AND MAKE GOOD FOR NEW FINISHES. EXISTING WALL TILE BASE TO REMAIN.
- SD4 EXISTING SUBWOOFER BOXES TO BE REMOVED. MAKE GOOD COLUMNS, AND EXISTING STAGE FOR NEW FINISHES.
- SD5 EXISTING MILLWORK DESK TO BE REMOVED. MAKE GOOD COLUMNS AND WALLS FOR NEW FINISHES. EXISTING TILE FLOOR TO BE PROTECTED
- SD6 EXISTING MILLWORK COUNTER TO BE REMOVED. MAKE GOOD ALL EDGES AND SURFACES RECEIVING NEW FINISHES.
- SD7 BULKHEAD TO BE REMOVED. ALIGN DEMOLITION TO ADJACENT BULKHEADS ON EITHER SIDE. REMOVE LIGHTING AND SPEAKERS CAREFULLY FOR REUSE. MAKE GOOD COLUMN AND WALL FOR NEW FINISHES. REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR COORDINATION.
- SD8 EXISTING VENT GRATES TO BE REMOVED. ENSURE NO DUST MITIGATES INTO DUCTWORK DURING DEMOLITION. MAKE GOOD ALL SURFACES AND PREPARE TO RECEIVE CUSTOM WOOD SLAT GRATE.
- SD9 DECOMMISSION POWER AND DATA. REMOVE SIGNAGE, AND RETURN TO OWNER. SEAL CABINET DOORS WITH MASONITE OR SIMILAR BOARD MATERIAL AND PREP SURFACE FOR FELT APPLICATION. REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR MORE INFORMATION.
- SD10 REMOVE COLUMN SPEAKER. PATCH AND REPAIR AND MAKE GOOD ALL SURFACES FOR RECEIVING NEW FINISHES
- SD11 EXISTING STAGE LIGHTS TO BE REMOVED. RETURN TO OWNER.
- SD12 PAINTING TO BE REMOVED AND RETURNED TO OWNER. PATCH AND REPAIR WALL BEHIND AS NECESSARY
- SD13 REMOVE AND CONCEAL CABINETS. PREP FOR FELT APPLICATION AS INDICATED IN WALL FINISH PLAN.

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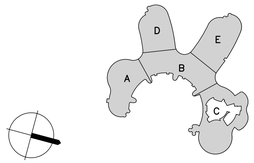
KEY PLAN



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LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION PLAN GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID1.02

REVISION NO.

6

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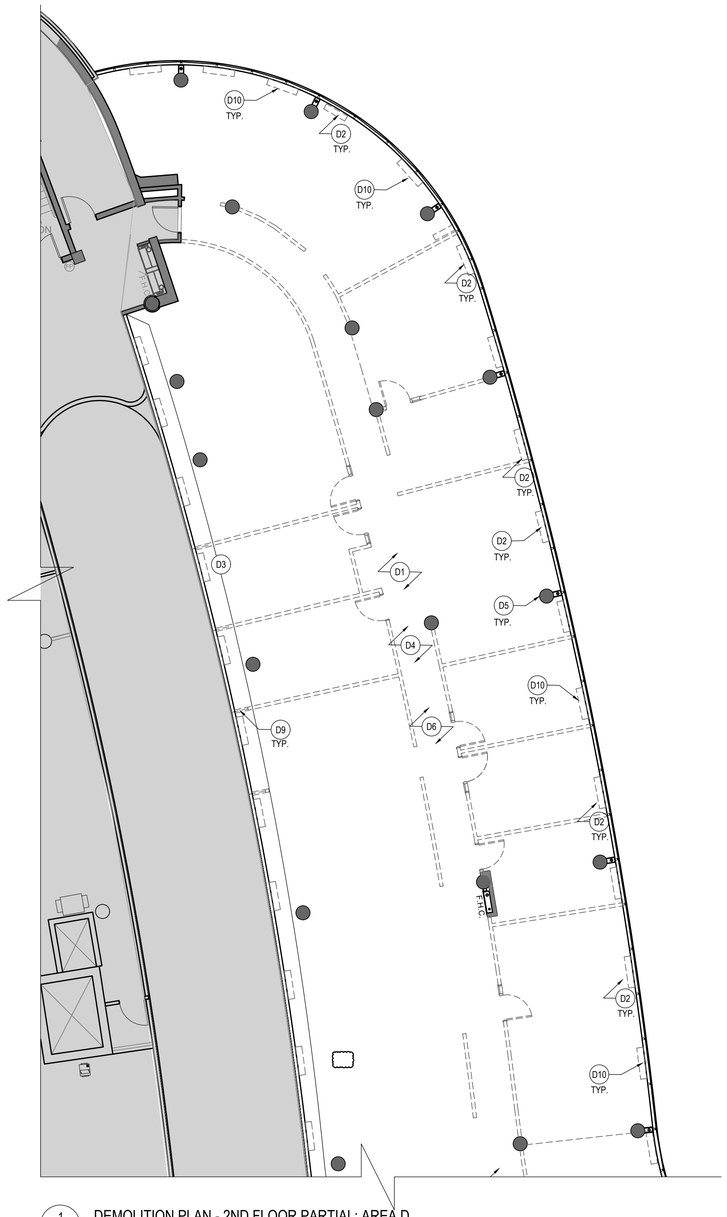
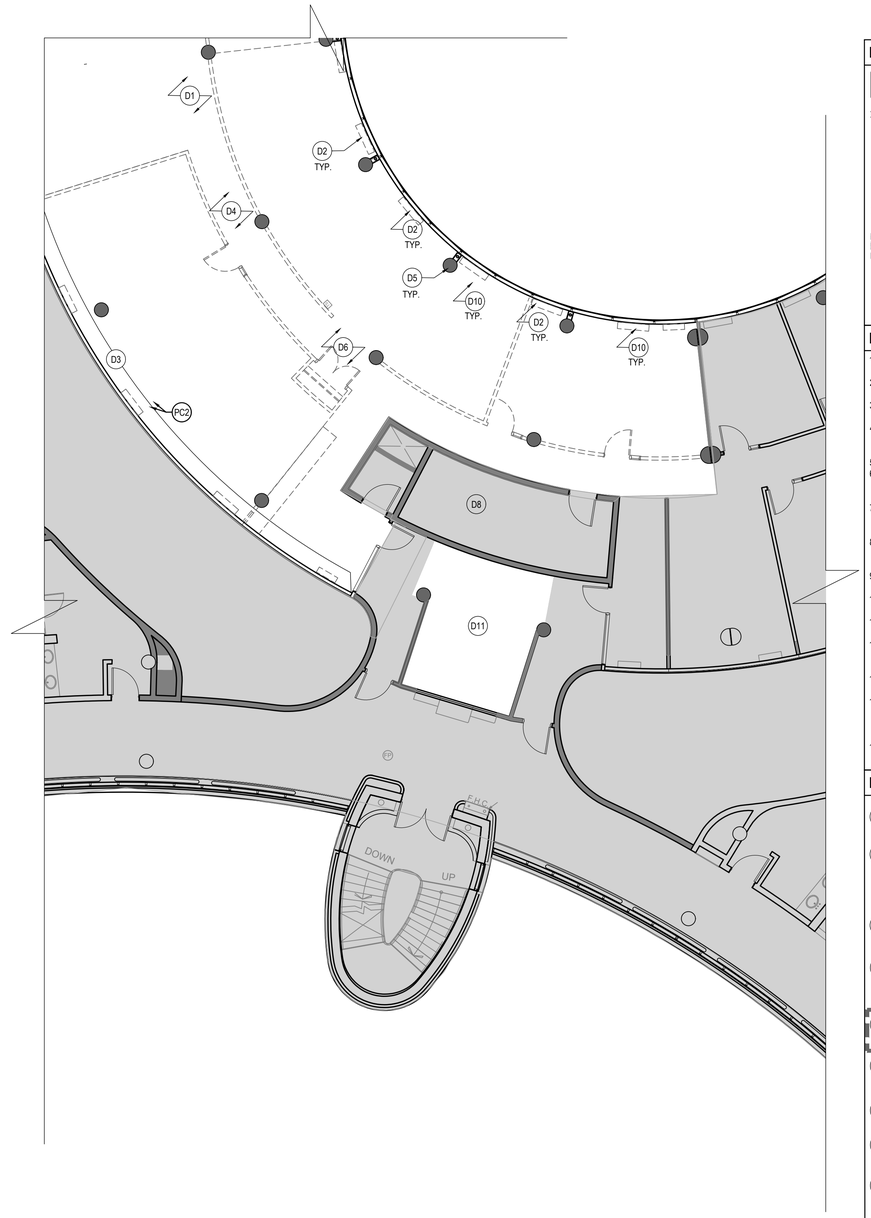


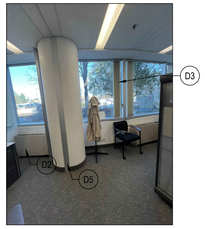
1 ID1.03 DEMOLITION PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



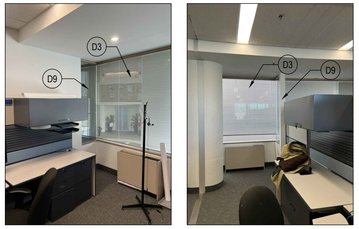
2 ID1.03 DEMOLITION PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100



3 ID1.03 TYP. DEMOLITION PHOTO EXISTING SPACE

SCALE: N.T.S.



4 ID1.03 TYP. DEMOLITION PHOTO EXISTING SPACE

SCALE: N.T.S.

DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING SWING DOOR AND FRAME TO REMAIN. HARDWARE TO REMAIN U.N.O. REPAIR ANY DAMAGE AS REQUIRED.
- EXISTING GWB WALLS, PLENUM BARRIERS ABOVE TO BE REMOVED.
- EXISTING MILLWORK TO BE DEMOLISHED.
- DOOR, FRAME, HARDWARE AND SIDELITE TO BE REMOVED

DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. WHERE EXISTING PARTITIONS, GLAZING, DOORS, ETC. ARE TO BE DEMOLISHED, PROTECT ANY ADJACENT SURFACES-TO-REMAIN AND PATCH/ MAKE READY TO RECEIVE NEW FINISHES/CONSTRUCTION.
5. REMOVE ANY VINYL LETTERING AND SIGNAGE, U.N.O.
6. EXISTING BASE BUILDING WINDOW COVERINGS AT EXTERIOR PERIMETER TO REMAIN UNLESS NOTED OTHERWISE. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.
7. REMOVE ALL EXISTING FURNITURE, FIXTURES, AND EQUIPMENT, UNLESS NOTED OTHERWISE. OWNER TO PROVIDE LIST OF AND DIRECTION FOR ITEMS TO BE STORED PRIOR TO COMMENCEMENT OF DEMOLITION.
8. REMOVE EXISTING NON-RATED COLUMN FURRING WHERE POSSIBLE. COORDINATE REPAIR OF ALL DAMAGED FIRESPRAY ON ANY EXPOSED COLUMNS WHERE APPLICABLE.
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12. REMOVE ALL EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. TAKE CARE IN REMOVAL, RECYCLE, CAP EXISTING PLUMBING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
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15. EXTERIOR PERIMETER BLINDS TO REMAIN. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION PLAN KEYNOTES

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D2 EXISTING CONVECTOR TO BE REMOVED. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR COORDINATION. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF CEILINGS AT FLOORS BELOW WHERE CONVECTORS ARE BEING REMOVED AND CAPPED AT SOURCE.

D3 EXISTING HORIZONTAL BLINDS AND ASSOCIATED COMPONENTS AT INTERIOR PERIMETER GLAZING TO BE REMOVED. PATCH AND REPAIR CEILING AS NEEDED.

D4 ALL FLOOR FINISHES, WALL BASE, TRANSITIONS AND ASSOCIATED ADHESIVES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH, REPAIR AND SKIM FLOOR AS NEEDED. MAKE GOOD FOR NEW.

D5 METAL TRIMS AND EXPANSION JOINTS TO REMAIN. PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

D6 ALL EXISTING WALL FINISHES (WALL PAPER, WALL VINYL, ETC) TO BE REMOVED THROUGHOUT. PATCH AND REPAIR TO MAKE GOOD FOR NEW PAINT FINISH.

D7 REMOVE EXISTING KITCHEN, INCLUDING ALL MILLWORK AND PLUMBING FIXTURES. REFER TO CONSULTANTS DRAWINGS FOR MORE INFORMATION.

D8 SERVER/DATA ROOM TO REMAIN SEALED DURING CONSTRUCTION. GC TO ENSURE NO DUST MIGRATES TO SERVER/DATA ROOM. GC TO PLACE BREATHABLE CLOTH OVER DATA RACKS.

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D10 WHERE FAN COILS ARE REMOVED, PATCH AND REPAIR C/W FIRE RATED FIRE STOPPING AS NEEDED. REFER TO STRUCTURAL DRAWINGS 4/S-100

D11 FLOORING AT ENTRANCES TO BE PROTECTED. LAY DOWN RAM BOARD OVER ALL EXPOSED CARPET. ENSURE NOT DUST OR DEBRI REACHES EXISTING CARPET THROUGHOUT ALL CONSTRUCTION PERIOD.

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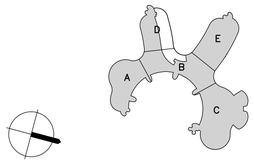
KEY PLAN



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PROJECT

YORK REGION MUNICIPALITY CENTRE

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TITLE

DEMOLITION PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. ID1.03

REVISION NO. 6

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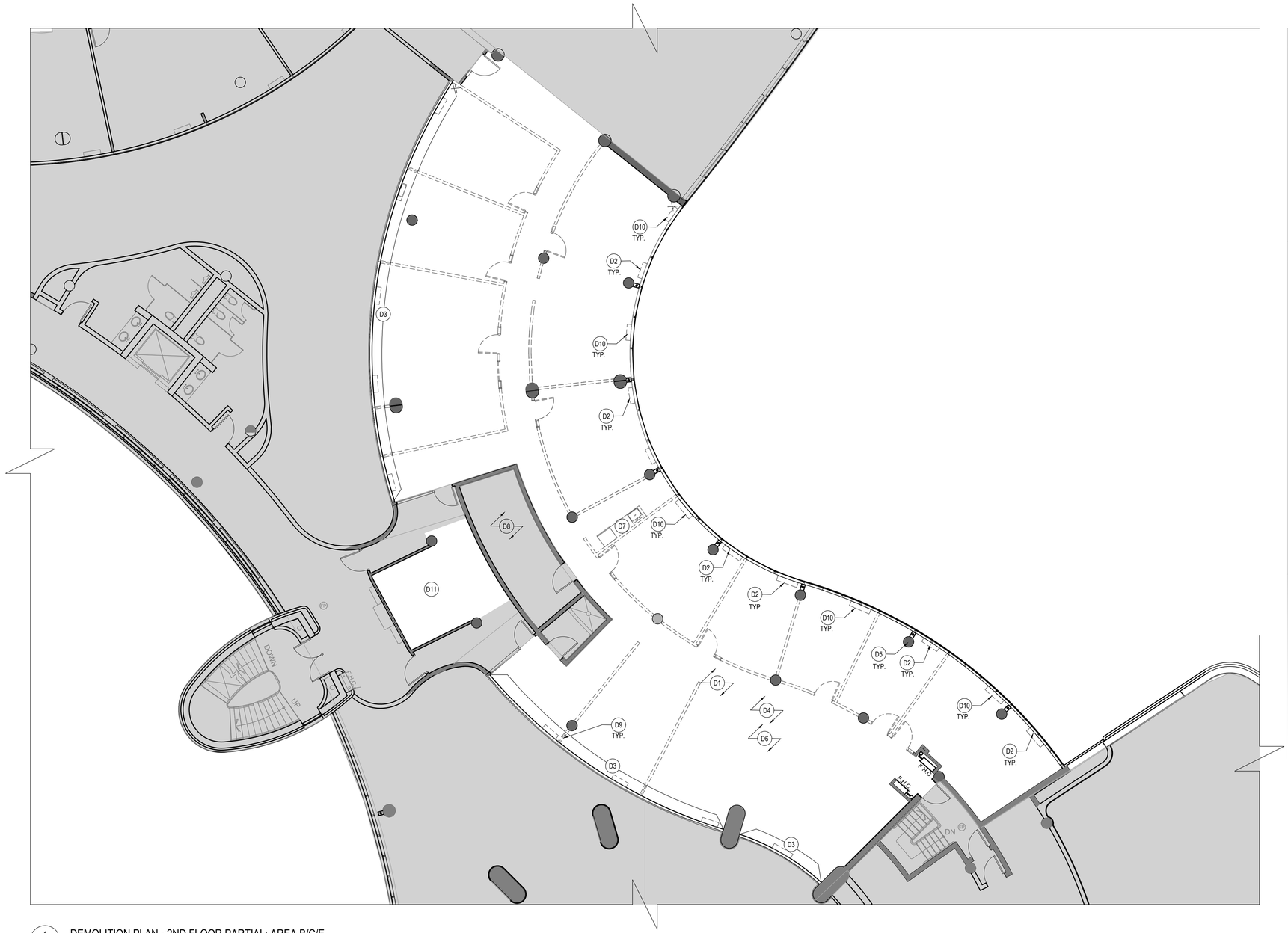

1 ID1.04 DEMOLITION PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

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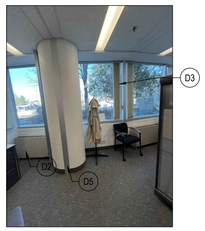

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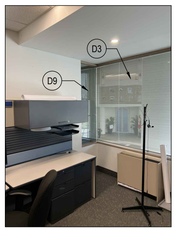

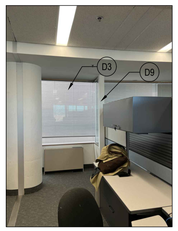

3 ID1.04 TYP. DEMOLITION PHOTO EXISTING SPACE

SCALE: N.T.S.

DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING SWING DOOR AND FRAME TO REMAIN. HARDWARE TO REMAIN U.N.O. REPAIR ANY DAMAGE AS REQUIRED.
- EXISTING GWB WALLS, PLENUM BARRIERS ABOVE TO BE REMOVED.
- EXISTING MILLWORK TO BE DEMOLISHED.
- DOOR, FRAME, HARDWARE AND SIDELITE TO BE REMOVED

DEMOLITION PLAN SHEET NOTES

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10. FIRE RATED MECHANICAL/PLUMBING CHASE WALLS TO REMAIN. INTEGRITY OF ALL RATED ENCLOSURES TO BE MAINTAINED.
11. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
12. REMOVE ALL EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. TAKE CARE IN REMOVAL, RECYCLE, CAP EXISTING PLUMBING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
13. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
14. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
15. EXTERIOR PERIMETER BLINDS TO REMAIN. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION PLAN KEYNOTES

D1 REMOVE ALL ATTACHEMENTS THROUGHOUT, INCLUDING WHITE BOARDS, TACK BOARDS, ETC. RETURN TO OWNER FOR POTENTIAL RE-USE. PATCH AND REPAIR ALL SURFACES AND MAKE GOOD FOR NEW FINISHES.

D2 EXISTING CONVECTOR TO BE REMOVED. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR COORDINATION. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF CEILINGS AT FLOORS BELOW WHERE CONVECTORS ARE BEING REMOVED AND CAPPED AT SOURCE.

D3 EXISTING HORIZONTAL BLINDS AND ASSOCIATED COMPONENTS AT INTERIOR PERIMETER GLAZING TO BE REMOVED. PATCH AND REPAIR CEILING AS NEEDED.

D4 ALL FLOOR FINISHES, WALL BASE, TRANSITIONS AND ASSOCIATED ADHESIVES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH, REPAIR AND SKIM FLOOR AS NEEDED. MAKE GOOD FOR NEW.

D5 METAL TRIMS AND EXPANSION JOINTS TO REMAIN. PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

D6 ALL EXISTING WALL FINISHES (WALL PAPER, WALL VINYL, ETC) TO BE REMOVED THROUGHOUT. PATCH AND REPAIR TO MAKE GOOD FOR NEW PAINT FINISH.

D7 REMOVE EXISTING KITCHEN, INCLUDING ALL MILLWORK AND PLUMBING FIXTURES. REFER TO CONSULTANTS DRAWINGS FOR MORE INFORMATION.

D8 SERVER/DATA ROOM TO REMAIN SEALED DURING CONSTRUCTION. GC TO ENSURE NO DUST MIGRATES TO SERVER/DATA ROOM. GC TO PLACE BREATHABLE CLOTH OVER DATA RACKS.

D9 REMOVE EXISTING GYPSUM NIB WALL AND GLAZING. PATCH AND REPAIR WALL AND REINSTATE MILLWORK LEDGE. (TOP AND BOTTOM) BY FITTING NEW AND EXISTING MILLWORK SILLS TOGETHER. ALLOW FOR +/- 1000MM LINEAR NEW MILLWORK PER FIN LOCATION. MAKE GOOD ALL SURFACES.

D10 WHERE FAN COILS ARE REMOVED, PATCH AND REPAIR C/W FIRE RATED FIRE STOPPING AS NEEDED. REFER TO STRUCTURAL DRAWINGS 4/S-100

D11 FLOORING AT ENTRANCES TO BE PROTECTED. LAY DOWN RAM BOARD OVER ALL EXPOSED CARPET. ENSURE NOT DUST OR DEBRI REACHES EXISTING CARPET THROUGHOUT ALL CONSTRUCTION PERIOD.

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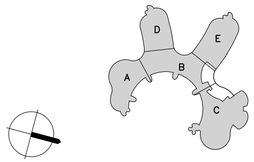
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
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1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID1.04**

REVISION NO. 6

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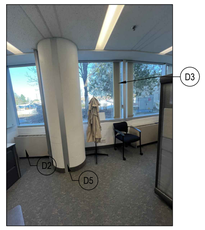
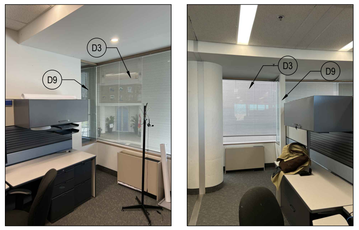
1 ID1.05 DEMOLITION PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100



2 ID1.05 TYP. DEMOLITION PHOTO EXISTING SPACE

SCALE: N.T.S.



3 ID1.05 TYP. DEMOLITION PHOTO EXISTING SPACE

SCALE: N.T.S.

DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING SWING DOOR AND FRAME TO REMAIN. HARDWARE TO REMAIN U.N.O. REPAIR ANY DAMAGE AS REQUIRED.
- EXISTING GWB WALLS, PLENUM BARRIERS ABOVE TO BE REMOVED.
- EXISTING MILLWORK TO BE DEMOLISHED.
- DOOR, FRAME, HARDWARE AND SIDELITE TO BE REMOVED

DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. WHERE EXISTING PARTITIONS, GLAZING, DOORS, ETC. ARE TO BE DEMOLISHED, PROTECT ANY ADJACENT SURFACES-TO-REMAIN AND PATCH/ MAKE READY TO RECEIVE NEW FINISHES/CONSTRUCTION.
5. REMOVE ANY VINYL LETTERING AND SIGNAGE, U.N.O.
6. EXISTING BASE BUILDING WINDOW COVERINGS AT EXTERIOR PERIMETER TO REMAIN UNLESS NOTED OTHERWISE. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.
7. REMOVE ALL EXISTING FURNITURE, FIXTURES, AND EQUIPMENT, UNLESS NOTED OTHERWISE. OWNER TO PROVIDE LIST OF AND DIRECTION FOR ITEMS TO BE STORED PRIOR TO COMMENCEMENT OF DEMOLITION.
8. REMOVE EXISTING NON-RATED COLUMN FURRING WHERE POSSIBLE. COORDINATE REPAIR OF ALL DAMAGED FIRESPRAY ON ANY EXPOSED COLUMNS WHERE APPLICABLE.
9. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SCOPE OF THEIR RESPECTIVE REMOVAL AND DEMOLITION.
10. FIRE RATED MECHANICAL/PLUMBING CHASE WALLS TO REMAIN. INTEGRITY OF ALL RATED ENCLOSURES TO BE MAINTAINED.
11. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
12. REMOVE ALL EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. TAKE CARE IN REMOVAL, RECYCLE, CAP EXISTING PLUMBING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
13. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
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15. EXTERIOR PERIMETER BLINDS TO REMAIN. BAG AND PROTECT DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION PLAN KEYNOTES

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D3 EXISTING HORIZONTAL BLINDS AND ASSOCIATED COMPONENTS AT INTERIOR PERIMETER GLAZING TO BE REMOVED. PATCH AND REPAIR CEILING AS NEEDED.

D4 ALL FLOOR FINISHES, WALL BASE, TRANSITIONS AND ASSOCIATED ADHESIVES ARE TO BE REMOVED UNLESS NOTED OTHERWISE. PATCH, REPAIR AND SKIM FLOOR AS NEEDED. MAKE GOOD FOR NEW.

D5 METAL TRIMS AND EXPANSION JOINTS TO REMAIN. PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

D6 ALL EXISTING WALL FINISHES (WALL PAPER, WALL VINYL, ETC) TO BE REMOVED THROUGHOUT. PATCH AND REPAIR TO MAKE GOOD FOR NEW PAINT FINISH.

D7 REMOVE EXISTING KITCHEN, INCLUDING ALL MILLWORK AND PLUMBING FIXTURES. REFER TO CONSULTANTS DRAWINGS FOR MORE INFORMATION.

D8 SERVER/DATA ROOM TO REMAIN SEALED DURING CONSTRUCTION. GC TO ENSURE NO DUST MIGRATES TO SERVER/DATA ROOM. GC TO PLACE BREATHABLE CLOTH OVER DATA RACKS.

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D10 WHERE FAN COILS ARE REMOVED, PATCH AND REPAIR C/W FIRE RATED FIRE STOPPING AS NEEDED. REFER TO STRUCTURAL DRAWINGS 4/S-100

D11 FLOORING AT ENTRANCES TO BE PROTECTED. LAY DOWN RAM BOARD OVER ALL EXPOSED CARPET. ENSURE NOT DUST OR DEBRI REACHES EXISTING CARPET THROUGHOUT ALL CONSTRUCTION PERIOD.

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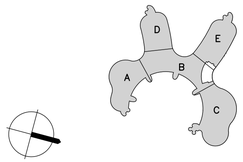
KEY PLAN



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ONTARIO ASSOCIATION OF ARCHITECTS
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION PLAN 3RD FLR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID1.05**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7-SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID1.05_DEMOLITION_FLOOR 3.DWG

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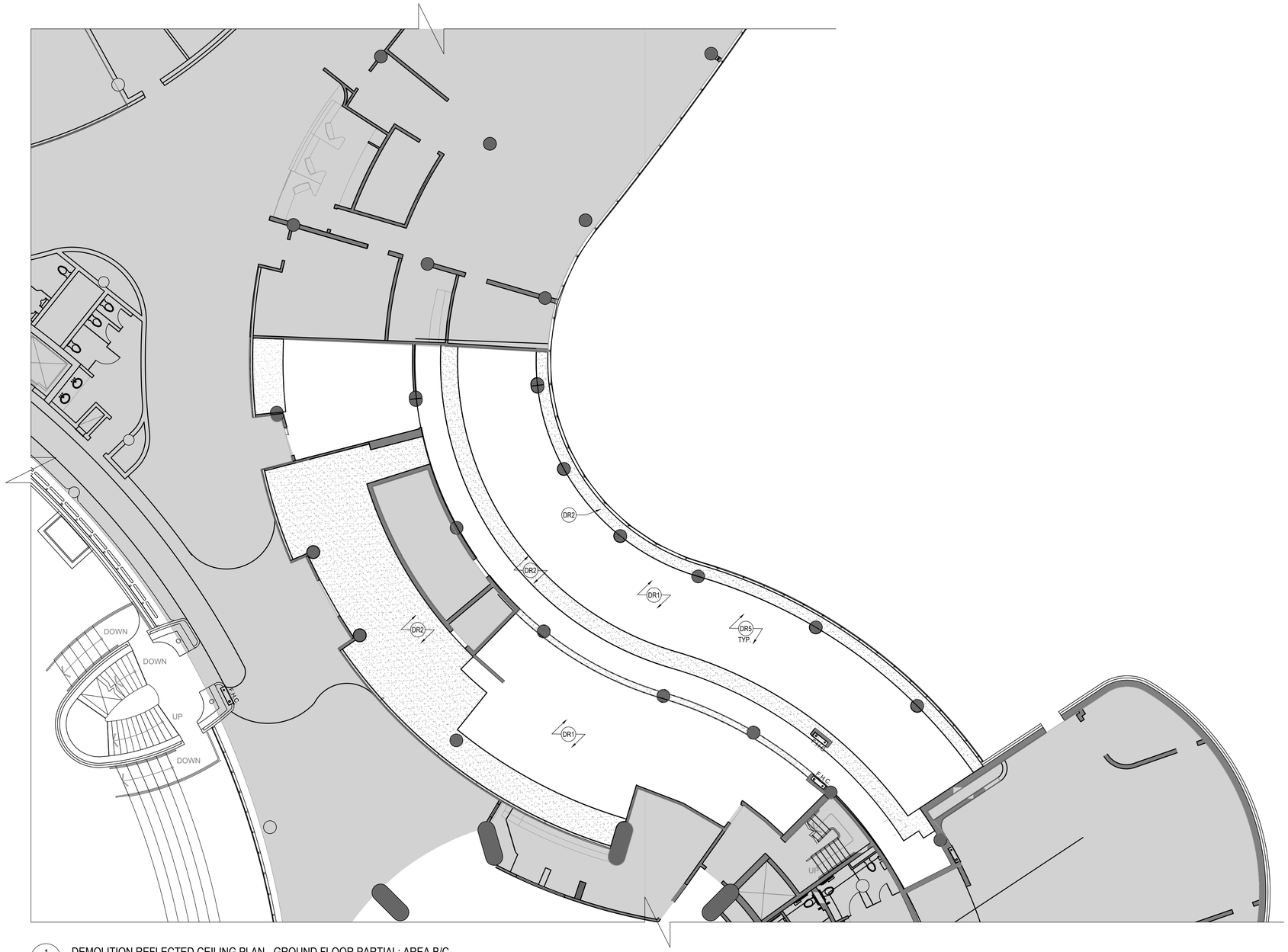

1 ID1.11 DEMOLITION REFLECTED CEILING PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

RCP DEMOLITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS TO REMAIN
	EXISTING ITEMS TO BE DEMOLISHED.
	EXISTING GWB CEILING TO REMAIN. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
	EXISTING CEILING TILE AND T-BAR GRID TO BE REMOVED.

RCP DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. CAREFULLY REMOVE ANY CEILING TILES IN AREAS TO BE DEMOLISHED AND DISPOSE OF MATERIAL.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SCOPE OF THEIR RESPECTIVE REMOVAL AND DEMOLITION.
6. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
7. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. RECYCLE OR DISPOSE. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
8. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
9. WHERE EXISTING 4" POTLIGHTS ARE REMOVED, PREP CEILING TO BE INFILLED AS NEEDED FOR NEW 4" POTLIGHTS. COORDINATE EXACT SIZE WITH ELECTRICAL DRAWINGS.
10. METAL TRIMS ON GWB CEILING TO REMAIN, PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

RCP DEMOLITION PLAN KEYNOTES

DR1 EXISTING CEILING TILE, T-BAR GRID, ETC TO BE REMOVED. PATCH AND REPAIR, PREPARE AREA FOR NEW CEILING GRID AND TILES. REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR MORE INFORMATION.

DR2 EXISTING LIGHTING TO BE REMOVED. GC TO ALLOW FOR ALL NECESSARY PATCH AND REPAIR OF GWB CEILING WHERE DEMOLITION OCCURS.

DR3 EXISTING GWB CEILING TO BE REMOVED. PATCH AND REPAIR AREA AND MAKE GOOD TO RECEIVE NEW CEILING GRID AND TILE. REFER TO RCP FOR COORDINATION

DR4 NOT USED

DR5 WHERE GC NEEDS ACCESS TO RAIN WATER LITER, PATCH AND REPAIR OPENING THEREAFTER. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND COORDINATION.

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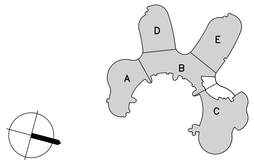
KEY PLAN



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1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION RCP GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID1.11

REVISION NO.

6

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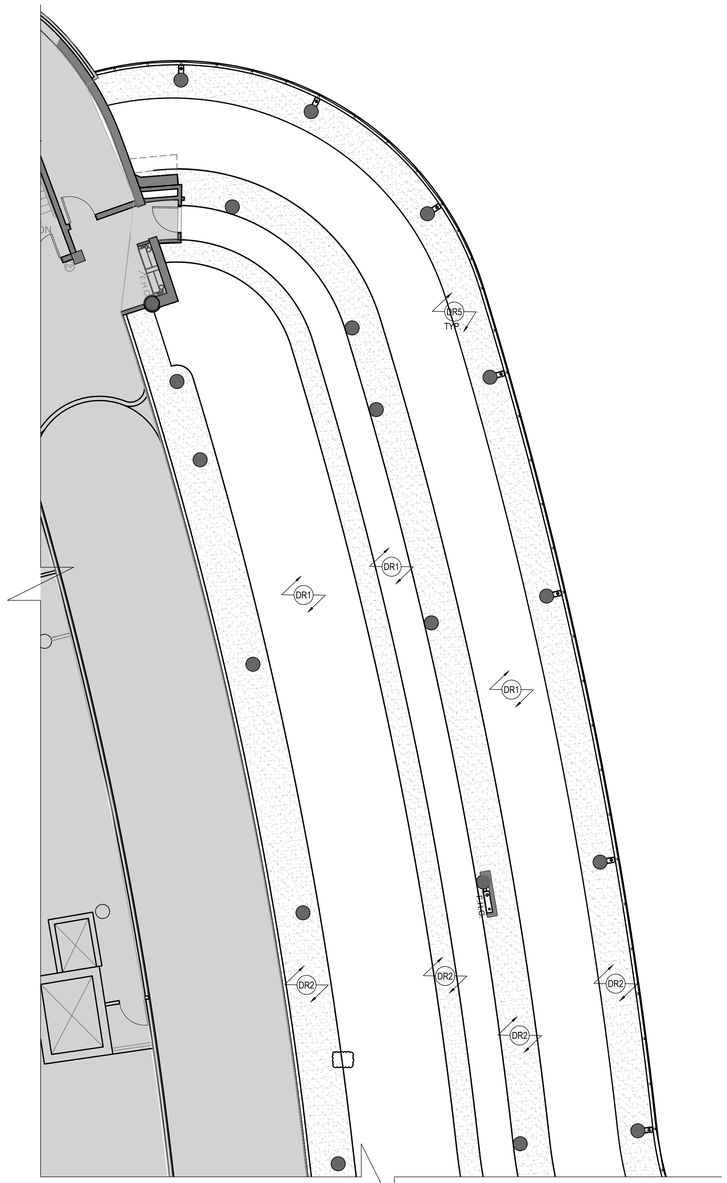
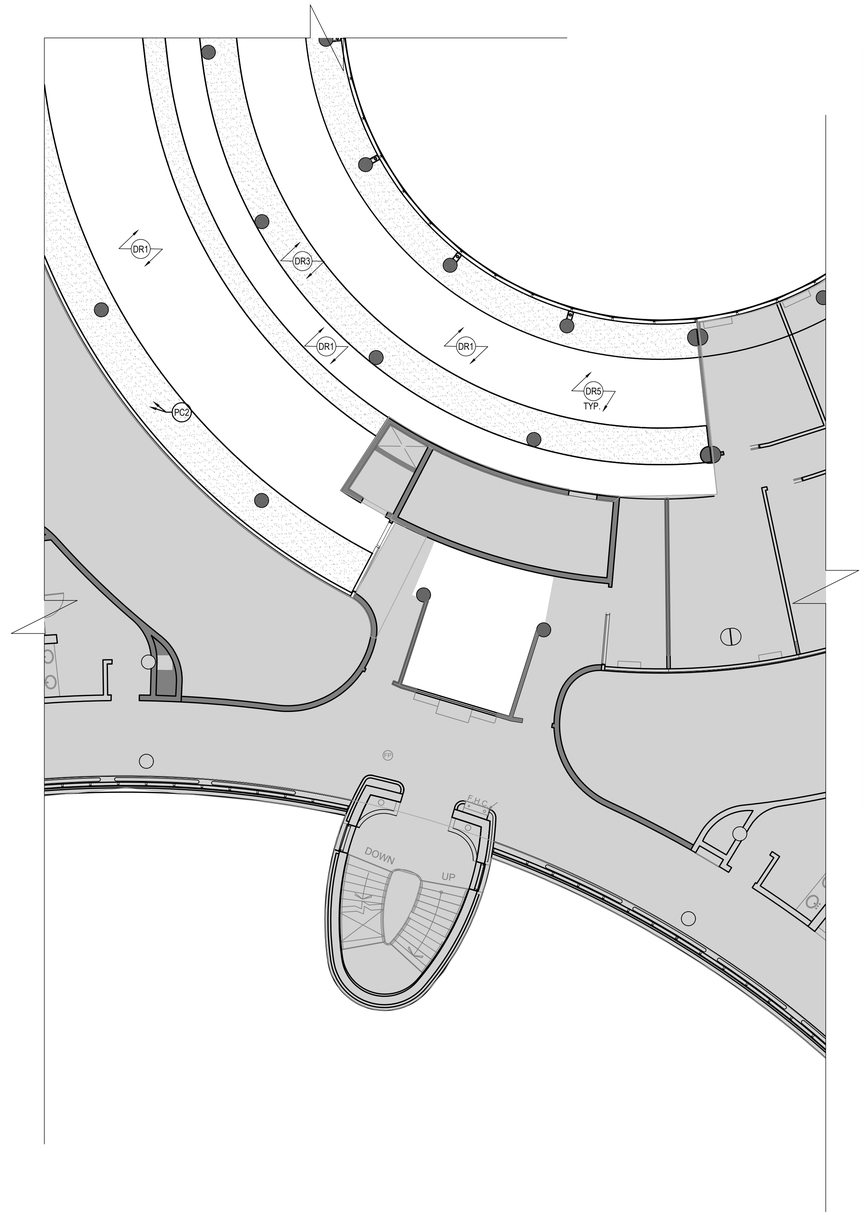


1 ID1.12 DEMOLITION REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID1.12 DEMOLITION REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

RCP DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING ITEMS TO BE DEMOLISHED.
- EXISTING GWB CEILING TO REMAIN. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
- EXISTING CEILING TILE AND T-BAR GRID TO BE REMOVED.

RCP DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. CAREFULLY REMOVE ANY CEILING TILES IN AREAS TO BE DEMOLISHED AND DISPOSE OF MATERIAL.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SCOPE OF THEIR RESPECTIVE REMOVAL AND DEMOLITION.
6. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
7. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. RECYCLE OR DISPOSE. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
8. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
9. WHERE EXISTING 4" POTLIGHTS ARE REMOVED, PREP CEILING TO BE INFILLED AS NEEDED FOR NEW 4" POTLIGHTS. COORDINATE EXACT SIZE WITH ELECTRICAL DRAWINGS.
10. METAL TRIMS ON GWB CEILING TO REMAIN, PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

RCP DEMOLITION PLAN KEYNOTES

- DR1 EXISTING CEILING TILE, T-BAR GRID, ETC TO BE REMOVED. PATCH AND REPAIR, PREPARE AREA FOR NEW CEILING GRID AND TILES. REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR MORE INFORMATION.
- DR2 EXISTING LIGHTING TO BE REMOVED. GC TO ALLOW FOR ALL NECESSARY PATCH AND REPAIR OF GWB CEILING WHERE DEMOLITION OCCURS.
- DR3 EXISTING GWB CEILING TO BE REMOVED. PATCH AND REPAIR AREA AND MAKE GOOD TO RECEIVE NEW CEILING GRID AND TILE. REFER TO RCP FOR COORDINATION
- DR4 NOT USED
- DR5 WHERE GC NEEDS ACCESS TO RAIN WATER LITER, PATCH AND REPAIR OPENING THEREAFTER. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND COORDINATION.

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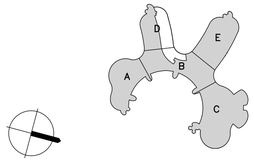
KEY PLAN



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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION RCP 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID1.12

REVISION NO.

6

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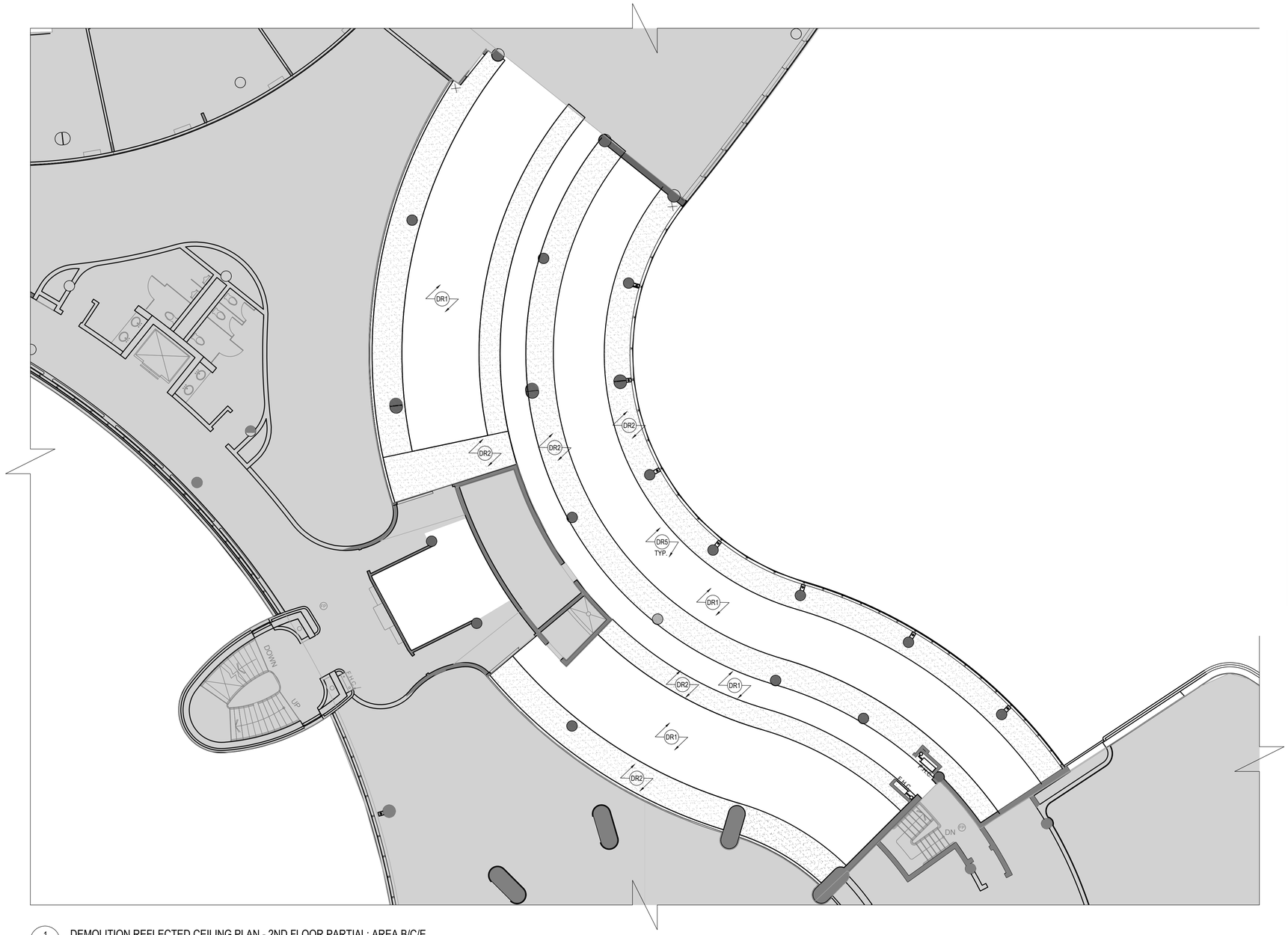

1 ID1.13 DEMOLITION REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

RCP DEMOLITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS TO REMAIN
	EXISTING ITEMS TO BE DEMOLISHED.
	EXISTING GWB CEILING TO REMAIN. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
	EXISTING CEILING TILE AND T-BAR GRID TO BE REMOVED.

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6. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
7. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. RECYCLE OR DISPOSE. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
8. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
9. WHERE EXISTING 4" POTLIGHTS ARE REMOVED, PREP CEILING TO BE INFILLED AS NEEDED FOR NEW 4" POTLIGHTS. COORDINATE EXACT SIZE WITH ELECTRICAL DRAWINGS.
10. METAL TRIMS ON GWB CEILING TO REMAIN, PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

RCP DEMOLITION PLAN KEYNOTES

DR1	EXISTING CEILING TILE, T-BAR GRID, ETC TO BE REMOVED. PATCH AND REPAIR, PREPARE AREA FOR NEW CEILING GRID AND TILES. REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR MORE INFORMATION.
DR2	EXISTING LIGHTING TO BE REMOVED. GC TO ALLOW FOR ALL NECESSARY PATCH AND REPAIR OF GWB CEILING WHERE DEMOLITION OCCURS.
DR3	EXISTING GWB CEILING TO BE REMOVED. PATCH AND REPAIR AREA AND MAKE GOOD TO RECEIVE NEW CEILING GRID AND TILE. REFER TO RCP FOR COORDINATION
DR4	NOT USED
DR5	WHERE GC NEEDS ACCESS TO RAIN WATER LITER, PATCH AND REPAIR OPENING THEREAFTER. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND COORDINATION.

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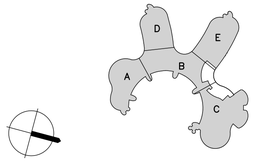
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
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4	BUILDING PERMIT	2026/01/16
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2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

DEMOLITION RCP 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID1.13

REVISION NO.

6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID1.13_DEMOLITION RCP_FLOOR 2.DWG

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1
ID1.14
DEMOLITION REFLECTED CEILING PLAN - 3RD FLOOR PARTIAL: AREA B
SCALE: 1:100

RCP DEMOLITION PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS TO REMAIN
- EXISTING ITEMS TO BE DEMOLISHED.
- EXISTING GWB CEILING TO REMAIN. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
- EXISTING CEILING TILE AND T-BAR GRID TO BE REMOVED.

RCP DEMOLITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL DIMENSIONS ARE +/-. COORDINATE EXTENT OF PARTITION DEMOLITION WITH PARTITION PLAN ON ID2.01.
3. CONFIRM EXTENT OF ALL PARTIALLY DEMOLISHED ITEMS WITH DESIGNER PRIOR TO PROCEEDING.
4. CAREFULLY REMOVE ANY CEILING TILES IN AREAS TO BE DEMOLISHED AND DISPOSE OF MATERIAL.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE SCOPE OF THEIR RESPECTIVE REMOVAL AND DEMOLITION.
6. ENSURE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SERVICING THE SUITE ARE IN GOOD WORKING CONDITION.
7. REMOVE ALL EXISTING FEATURE AND TRACK LIGHTS THROUGHOUT. RECYCLE OR DISPOSE. REFER TO ELECTRICAL DRAWINGS FOR FULL LIGHTING DEMOLITION SCOPE.
8. WHERE ELECTRICAL/DATA LOCATIONS ARE DEMOLISHED PER ELECTRICAL DRAWINGS, BACK BOX AND PATCH/REPAIR EXISTING WALL SURFACE READY TO RECEIVE NEW FINISHES. BLANK FACE PLATES ON ABANDONED LOCATIONS WILL NOT BE ACCEPTED.
9. WHERE EXISTING 4" POTLIGHTS ARE REMOVED, PREP CEILING TO BE INFILLED AS NEEDED FOR NEW 4" POTLIGHTS. COORDINATE EXACT SIZE WITH ELECTRICAL DRAWINGS.
10. METAL TRIMS ON GWB CEILING TO REMAIN, PATCH AND REPAIR AS NEEDED. ALLOW FOR $35K ALLOWANCE FOR NEW COVERS THROUGHOUT AS NEEDED.

RCP DEMOLITION PLAN KEYNOTES

- DR1 — EXISTING CEILING TILE, T-BAR GRID, ETC TO BE REMOVED. PATCH AND REPAIR, PREPARE AREA FOR NEW CEILING GRID AND TILES. REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DRAWINGS FOR MORE INFORMATION.
- DR2 — EXISTING LIGHTING TO BE REMOVED. GC TO ALLOW FOR ALL NECESSARY PATCH AND REPAIR OF GWB CEILING WHERE DEMOLITION OCCURS.
- DR3 — EXISTING GWB CEILING TO BE REMOVED. PATCH AND REPAIR AREA AND MAKE GOOD TO RECEIVE NEW CEILING GRID AND TILE. REFER TO RCP FOR COORDINATION
- DR4 — NOT USED
- DR5 — WHERE GC NEEDS ACCESS TO RAIN WATER LITER, PATCH AND REPAIR OPENING THEREAFTER. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND COORDINATION.

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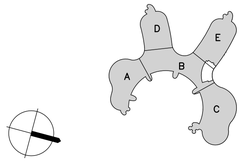
KEY PLAN



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TITLE

DEMOLITION RCP 3RD FLR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID1.14

REVISION NO.

6

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1 ID2.01 PARTITION PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

PARTITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS AND CONCRETE WALLS TO REMAIN.
E###	EXISTING SWING DOOR, FRAME AND HARDWARE.
	INDICATES NEW P01: ALTOS DEMOUNTABLE PARTITION. REFER TO PARTITION ASSEMBLIES LEGEND AND TEKNION DRAWINGS. GC TO COORDINATE. ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT ONLY. ALTOS INSTALLER TO LAY BASE TRACK OF PARTITON FOR YORK REGION TEAM APPROVAL/SIGN OFF BEFORE CONTINUING ALTOS INSTALLATION OR RISK RELOCATING ALTOS PARTITIONS AT NO COST TO THE REGION. PROVIDE YORK REGION TEAM 72 HOURS NOTICE ALTOS INSTALLER TO INCLUDE IN THEIR FEE, (10) TEN TRIPS TO ALTOS SUPPLIER WAREHOUSE, LOCATED IN PICKERING, ONTARIO TO PICK UP COMPONENTS FOR THE ALTOS PARTITION.
P0#	INDICATES NEW PARTITION ASSEMBLY TYPE. REFER TO PARTITION ASSEMBLIES LEGEND FOR DETAILS
D###	INDICATES NEW SWING DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
D###	INDICATES NEW ALTOS DOOR, FRAME AND HARDWARE. REFER TO TEKNION DRAWINGS FOR MORE INFORMATION.
	INDICATES NEW DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P07. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS FOR EXACT PLACEMENT AND SIZE OF SHAFT - COORDINATED ON SITE WITH CONSULTANTS. ALLOW FOR FILM APPLICATION AT GLAZING FOR ALL SHAFTS LOCATED ON WINDOW FILM. PROVIDE 12X12 ACCESS PANEL AS REQUIRED FOR MAINTENANCE
	INDICATES NEW MILLWORK (DASHED LINE INDICATES MILLWORK ABOVE)
MWXX	MILLWORK TAG

PARTITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL PARTITIONS TO BE P01 UNLESS NOTED OTHERWISE.
3. REFER TO ENLARGED PLANS WHERE INDICATED FOR PARTITION TYPE INFORMATION, ELEVATION REFERENCES, DIMENSIONS, AND DETAILS.
4. ALL PARTITIONS (NEW AND EXISTING) RECEIVING NEW FINISHES ARE TO BE PREPARED TO A LEVEL 4 FINISH PER ASTM C840 U.N.O. REVIEW SITE PRIOR TO TENDER FOR EXTENT OF EXISTING WALL REPAIR REQUIRED.
5. LEVEL 2 DRYWALL FINISH PER ASTM C840 CAN BE USED FOR ALL AREAS CONCEALED IN PLENUM AND IN AREAS TO RECEIVE TILE, SOLID SURFACE, OR MILLWORK CLADDING..
6. PARTITION TYPE SHALL CONTINUE OVER DOORS AND GLAZING U.N.O TO MAINTAIN INTEGRITY OF THE ADJACENT WALL CONSTRUCTION AND RATINGS.
7. REFER TO ID0.02 FOR TYPICAL WALL ASSEMBLY CONSTRUCTION, ASSEMBLY NOTES, AND ACOUSTIC REQUIREMENTS.
8. REFER TO FINISH PLANS FOR ALL FINISHING INFORMATION.
9. ALL PARTITIONS NOT CENTERED ON CEILING GRIDS OR ALIGNED WITH BASE BUILDING ARCHITECTURE (CORE WALLS, COLUMN FACES, CENTER OF WINDOW MULLIONS, ETC) ARE DIMENSIONED TO THE FACE OF EXISTING DRYWALL AND CENTER OF NEW DRYWALL AND DEMOUNTABLE PARTITIONS
10. WHERE PARTITIONS MEET WINDOW MULLIONS, CONNECT WITH DOUBLE SIDED CLOSED CELL FOAM TAPE. DO NOT MECHANICALLY FASTEN OR OTHERWISE DAMAGE MULLION. ENSURE TYPICAL DETAIL IS MET. COORDINATE WITH OWNER AND DESIGNER PRIOR TO CONSTRUCTION
11. INSTALL ALL NECESSARY BLOCKING/BACKING IN WALLS AT LOCATIONS INCLUDING, BUT NOT LIMITED TO, MILLWORK, A/V EQUIPMENT, LIGHT FIXTURES, ALL SPECIFIED FURNITURE, FIXTURES AND EQUIPMENT, SIGNAGE AND DISPLAY SHELVING.
12. PRIOR TO GYPSUM WALLBOARD INSTALLATION. INSTALL LEVEL AND PLUMB, RIGIDLY ANCHORED TO SUBSTRATE. REFER ALSO TO FF&E PLANS FOR REFERENCE AND COORDINATION.
13. COORDINATE NEW MECHANICAL, ELECTRICAL, AND DATA WITH NEW CONSTRUCTION, FURNITURE, AND EQUIPMENT INSTALLATIONS.
14. VERIFY ALL EXISTING CORRIDOR PARTITIONS ARE SMOKE SEALED.
15. PATCH AND REPAIR ALL CRACKS, HOLES AND DENTS IN EXISTING PARTITIONS AND COLUMNS. PREPARE AS REQUIRED TO RECEIVE NEW FINISH.

PARTITION PLAN KEYNOTES

C1 NOT USED

C2 PROVIDE BLOCKING IN PARTITION TO ACCOMMODATE TV AND AV. REFER TO FURNITURE PLAN, ELEVATION 1/ID7.03 AND ELECTRICAL CONSULTANT DRAWINGS.

C3 PATCH AND REPAIR WHERE REQUIRED CONCRETE BLOCK WALL PREP FOR NEW PAINT.

C4 REVIEW EXISTING WALL ASSEMBLY FOR ACCOMMODATION OF NEW PLUMBING. FURR OUT EXISTING PARTITION AS NEEDED TO ACCOMMODATE PLUMBING IF REQUIRED.

C5 REVIEW EXISTING WALL ASSEMBLY FOR BLOCKING TO ACCOMMODATE WALL MOUNTED TV. PROVIDE BLOCKING AS NEEDED, REFER TO 1/ID7.03 FOR BLOCKING LOCATION AND SIZE.

C6 DUCT SHAFT: WHERE P02 PARTITION INTERSECTS PERIMETER GLAZING AT EXTERIOR SIDE, MAINTAIN A MINIMUM 1" CLEARANCE BETWEEN PARTITION AND GLAZING.
AT INTERIOR ATRIUM SIDE AND EXTERIOR SIDE - CONCEAL WITH OPAQUE FILM FULL HEIGHT/WIDTH OF GLAZED SURFACE.
GC TO CHALK LINE DUCT SHAFT LOCATIONS ON SITE FOR REVIEW BY DESIGNER.

C7 PROVIDE ACCESS PANEL AT PARTITION TO ACCESS DUCT SHAFT. REFER TO MECHANICAL DRAWINGS FOR SIZE REQUIRED.

C8 PROVISION TO INFILL GAP BETWEEN GLAZING AND P02. REFER TO DETAILS 1/ID0.07 AND 2/ID0.07 FOR DETAILS.

C9 ALLOW FOR PENETRATIONS IN FLOOR SLAB AT EXTERIOR PERIMETER TO ACCOMMODATE NEW MECHANICAL WORK . REFER TO MECHANICAL DRAWINGS.

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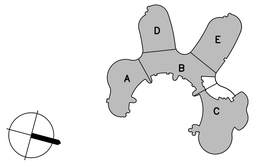
KEY PLAN



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6	ADDENDUM NO. 2	2026/03/27
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ONTARIO ASSOCIATION OF ARCHITECTS
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

PARTITION PLAN GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID2.01**

REVISION NO. 7

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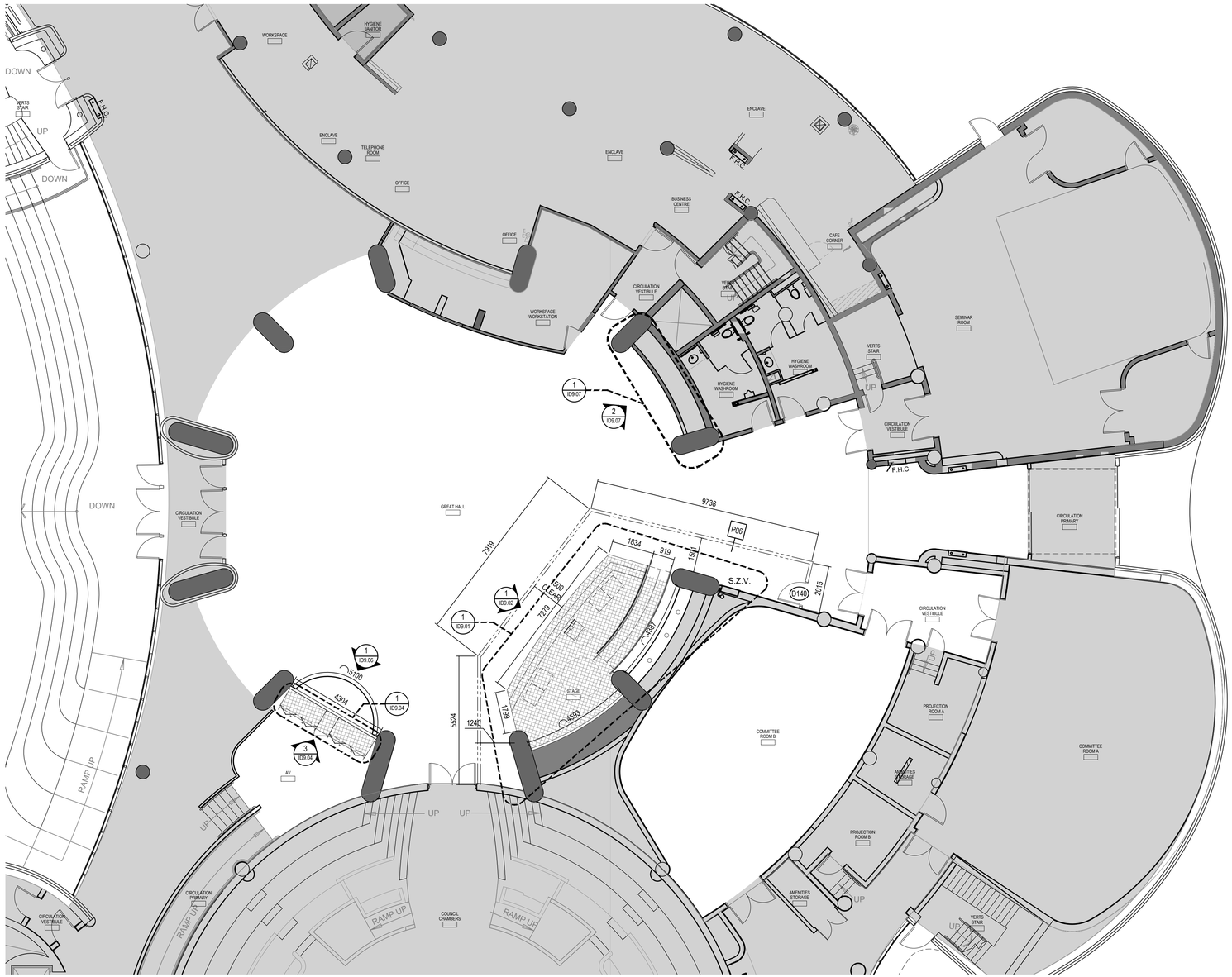

1 ID2.02 PARTITION PLAN - GROUND FLOOR PARTIAL: AREA C

SCALE: 1:100

PARTITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS AND CONCRETE WALLS TO REMAIN.
E###	EXISTING SWING DOOR, FRAME AND HARDWARE.
	INDICATES NEW P01: ALTOS DEMOUNTABLE PARTITION. REFER TO PARTITION ASSEMBLIES LEGEND AND TEKNION DRAWINGS. GC TO COORDINATE. ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT ONLY. ALTOS INSTALLER TO LAY BASE TRACK OF PARTITON FOR YORK REGION TEAM APPROVAL/SIGN OFF BEFORE CONTINUING ALTOS INSTALLATION OR RISK RELOCATING ALTOS PARTITIONS AT NO COST TO THE REGION. PROVIDE YORK REGION TEAM 72 HOURS NOTICE ALTOS INSTALLER TO INCLUDE IN THEIR FEE, (10) TEN TRIPS TO ALTOS SUPPLIER WAREHOUSE, LOCATED IN PICKERING, ONTARIO TO PICK UP COMPONENTS FOR THE ALTOS PARTITION.
P0#	INDICATES NEW PARTITION ASSEMBLY TYPE. REFER TO PARTITION ASSEMBLIES LEGEND FOR DETAILS
D###	INDICATES NEW SWING DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
D###	INDICATES NEW ALTOS DOOR, FRAME AND HARDWARE. REFER TO TEKNION DRAWINGS FOR MORE INFORMATION.
	INDICATES NEW DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P07. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS FOR EXACT PLACEMENT AND SIZE OF SHAFT - COORDINATED ON SITE WITH CONSULTANTS. ALLOW FOR FILM APPLICATION AT GLAZING FOR ALL SHAFTS LOCATED ON WINDOW FILM. PROVIDE 12X12 ACCESS PANEL AS REQUIRED FOR MAINTENANCE
	INDICATES NEW MILLWORK (DASHED LINE INDICATES MILLWORK ABOVE)
MWXX	MILLWORK TAG

PARTITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL PARTITIONS TO BE P01 UNLESS NOTED OTHERWISE.
3. REFER TO ENLARGED PLANS WHERE INDICATED FOR PARTITION TYPE INFORMATION, ELEVATION REFERENCES, DIMENSIONS, AND DETAILS.
4. ALL PARTITIONS (NEW AND EXISTING) RECEIVING NEW FINISHES ARE TO BE PREPARED TO A LEVEL 4 FINISH PER ASTM C840 U.N.O. REVIEW SITE PRIOR TO TENDER FOR EXTENT OF EXISTING WALL REPAIR REQUIRED.
5. LEVEL 2 DRYWALL FINISH PER ASTM C840 CAN BE USED FOR ALL AREAS CONCEALED IN PLENUM AND IN AREAS TO RECEIVE TILE, SOLID SURFACE, OR MILLWORK CLADDING..
6. PARTITION TYPE SHALL CONTINUE OVER DOORS AND GLAZING U.N.O TO MAINTAIN INTEGRITY OF THE ADJACENT WALL CONSTRUCTION AND RATINGS.
7. REFER TO ID0.02 FOR TYPICAL WALL ASSEMBLY CONSTRUCTION, ASSEMBLY NOTES, AND ACOUSTIC REQUIREMENTS.
8. REFER TO FINISH PLANS FOR ALL FINISHING INFORMATION.
9. ALL PARTITIONS NOT CENTERED ON CEILING GRIDS OR ALIGNED WITH BASE BUILDING ARCHITECTURE (CORE WALLS, COLUMN FACES, CENTER OF WINDOW MULLIONS, ETC) ARE DIMENSIONED TO THE FACE OF EXISTING DRYWALL AND CENTER OF NEW DRYWALL AND DEMOUNTABLE PARTITIONS
10. WHERE PARTITIONS MEET WINDOW MULLIONS, CONNECT WITH DOUBLE SIDED CLOSED CELL FOAM TAPE. DO NOT MECHANICALLY FASTEN OR OTHERWISE DAMAGE MULLION. ENSURE TYPICAL DETAIL IS MET. COORDINATE WITH OWNER AND DESIGNER PRIOR TO CONSTRUCTION.
11. INSTALL ALL NECESSARY BLOCKING/BACKING IN WALLS AT LOCATIONS INCLUDING, BUT NOT LIMITED TO, MILLWORK, A/V EQUIPMENT, LIGHT FIXTURES, ALL SPECIFIED FURNITURE, FIXTURES AND EQUIPMENT, SIGNAGE AND DISPLAY SHELVING.
12. PRIOR TO GYPSUM WALLBOARD INSTALLATION. INSTALL LEVEL AND PLUMB, RIGIDLY ANCHORED TO SUBSTRATE. REFER ALSO TO FF&E PLANS FOR REFERENCE AND COORDINATION.
13. COORDINATE NEW MECHANICAL, ELECTRICAL, AND DATA WITH NEW CONSTRUCTION, FURNITURE, AND EQUIPMENT INSTALLATIONS.
14. VERIFY ALL EXISTING CORRIDOR PARTITIONS ARE SMOKE SEALED.
15. PATCH AND REPAIR ALL CRACKS, HOLES AND DENTS IN EXISTING PARTITIONS AND COLUMNS. PREPARE AS REQUIRED TO RECEIVE NEW FINISH.

PARTITION PLAN KEYNOTES

C1	NOT USED
C2	PROVIDE BLOCKING IN PARTITION TO ACCOMMODATE TV AND AV. REFER TO FURNITURE PLAN, ELEVATION 1/ID7.03 AND ELECTRICAL CONSULTANT DRAWINGS.
C3	PATCH AND REPAIR WHERE REQUIRED CONCRETE BLOCK WALL PREP FOR NEW PAINT.
C4	REVIEW EXISTING WALL ASSEMBLY FOR ACCOMMODATION OF NEW PLUMBING. FURR OUT EXISTING PARTITION AS NEEDED TO ACCOMMODATE PLUMBING IF REQUIRED.
C5	REVIEW EXISTING WALL ASSEMBLY FOR BLOCKING TO ACCOMMODATE WALL MOUNTED TV. PROVIDE BLOCKING AS NEEDED, REFER TO 1/ID7.03 FOR BLOCKING LOCATION AND SIZE.
C6	DUCT SHAFT: WHERE P02 PARTITION INTERSECTS PERIMETER GLAZING AT EXTERIOR SIDE, MAINTAIN A MINIMUM 1" CLEARANCE BETWEEN PARTITION AND GLAZING. AT INTERIOR ATRIUM SIDE AND EXTERIOR SIDE - CONCEAL WITH OPAQUE FILM FULL HEIGHT/WIDTH OF GLAZED SURFACE. GC TO CHALK LINE DUCT SHAFT LOCATIONS ON SITE FOR REVIEW BY DESIGNER.
C7	PROVIDE ACCESS PANEL AT PARTITION TO ACCESS DUCT SHAFT. REFER TO MECHANICAL DRAWINGS FOR SIZE REQUIRED.
C8	PROVISION TO INFILL GAP BETWEEN GLAZING AND P02. REFER TO DETAILS 1/ID0.07 AND 2/ID0.07 FOR DETAILS.
C9	ALLOW FOR PENETRATIONS IN FLOOR SLAB AT EXTERIOR PERIMETER TO ACCOMMODATE NEW MECHANICAL WORK . REFER TO MECHANICAL DRAWINGS.

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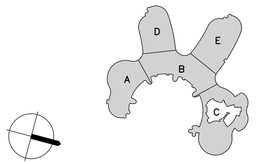

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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

PARTITION PLAN GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID2.02**

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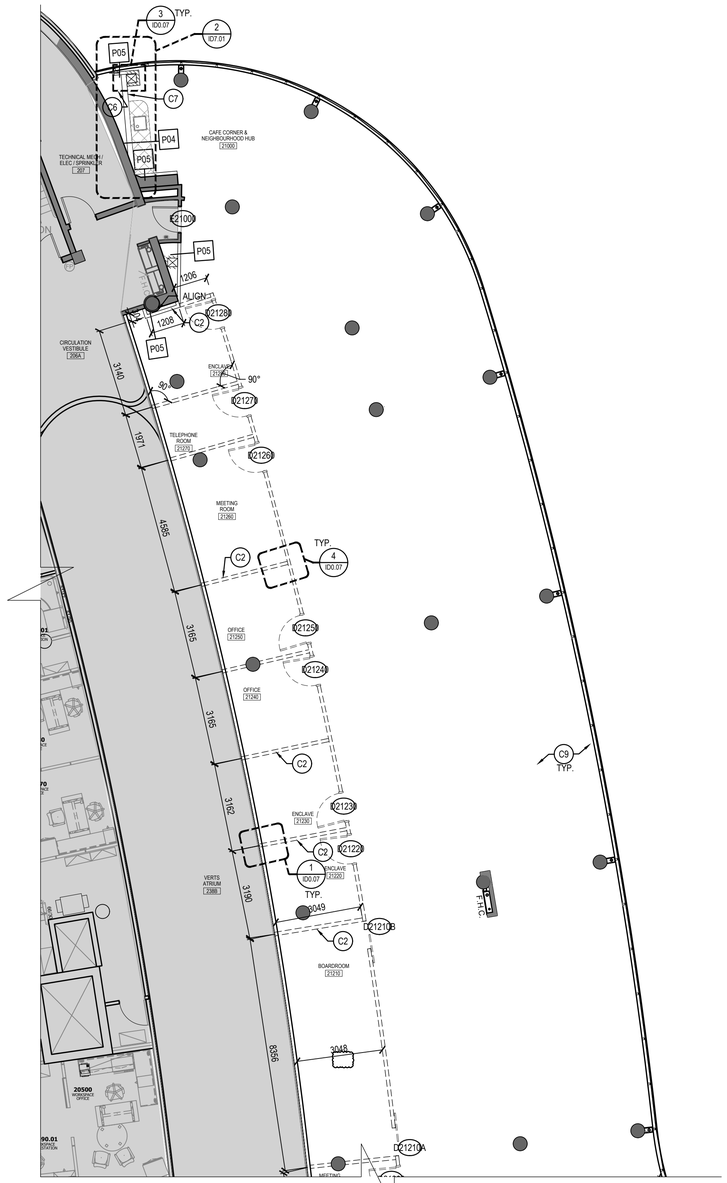
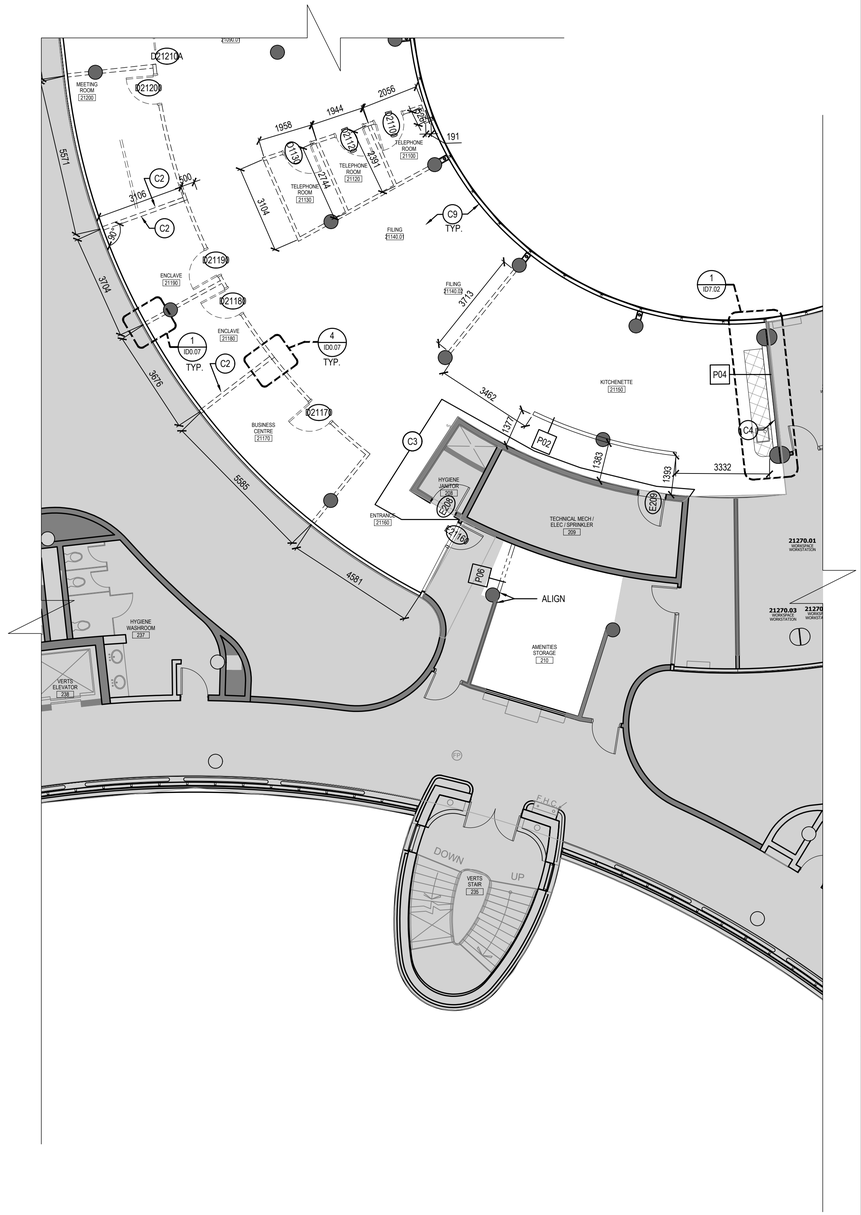


1 ID2.03 PARTITION PLAN - 2ND FLOOR PARTIAL - AREA D

SCALE: 1:100



2 ID2.03 PARTITION PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

PARTITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS AND CONCRETE WALLS TO REMAIN.
C###	EXISTING SWING DOOR, FRAME AND HARDWARE.
	INDICATES NEW P01: ALTOS DEMOUNTABLE PARTITION. REFER TO PARTITION ASSEMBLIES LEGEND AND TEKNION DRAWINGS. GC TO COORDINATE. ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT ONLY. ALTOS INSTALLER TO LAY BASE TRACK OF PARTITON FOR YORK REGION TEAM APPROVAL/SIGN OFF BEFORE CONTINUING ALTOS INSTALLATION OR RISK RELOCATING ALTOS PARTITIONS AT NO COST TO THE REGION. PROVIDE YORK REGION TEAM 72 HOURS NOTICE ALTOS INSTALLER TO INCLUDE IN THEIR FEE, (10) TEN TRIPS TO ALTOS SUPPLIER WAREHOUSE, LOCATED IN PICKERING, ONTARIO TO PICK UP COMPONENTS FOR THE ALTOS PARTITION.
P0#	INDICATES NEW PARTITION ASSEMBLY TYPE. REFER TO PARTITION ASSEMBLIES LEGEND FOR DETAILS
D###	INDICATES NEW SWING DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
D###	INDICATES NEW ALTOS DOOR, FRAME AND HARDWARE. REFER TO TEKNION DRAWINGS FOR MORE INFORMATION.
	INDICATES NEW DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P07. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS FOR EXACT PLACEMENT AND SIZE OF SHAFT - COORDINATED ON SITE WITH CONSULTANTS. ALLOW FOR FILM APPLICATION AT GLAZING FOR ALL SHAFTS LOCATED ON WINDOW FILM. PROVIDE 12X12 ACCESS PANEL AS REQUIRED FOR MAINTENANCE
	INDICATES NEW MILLWORK (DASHED LINE INDICATES MILLWORK ABOVE)
MWXX	MILLWORK TAG

PARTITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL PARTITIONS TO BE P01 UNLESS NOTED OTHERWISE.
3. REFER TO ENLARGED PLANS WHERE INDICATED FOR PARTITION TYPE INFORMATION, ELEVATION REFERENCES, DIMENSIONS, AND DETAILS.
4. ALL PARTITIONS (NEW AND EXISTING) RECEIVING NEW FINISHES ARE TO BE PREPARED TO A LEVEL 4 FINISH PER ASTM C840 U.N.O. REVIEW SITE PRIOR TO TENDER FOR EXTENT OF EXISTING WALL REPAIR REQUIRED.
5. LEVEL 2 DRYWALL FINISH PER ASTM C840 CAN BE USED FOR ALL AREAS CONCEALED IN PLENUM AND IN AREAS TO RECEIVE TILE, SOLID SURFACE, OR MILLWORK CLADDING..
6. PARTITION TYPE SHALL CONTINUE OVER DOORS AND GLAZING U.N.O TO MAINTAIN INTEGRITY OF THE ADJACENT WALL CONSTRUCTION AND RATINGS.
7. REFER TO ID0.02 FOR TYPICAL WALL ASSEMBLY CONSTRUCTION, ASSEMBLY NOTES, AND ACOUSTIC REQUIREMENTS.
8. REFER TO FINISH PLANS FOR ALL FINISHING INFORMATION.
9. ALL PARTITIONS NOT CENTERED ON CEILING GRIDS OR ALIGNED WITH BASE BUILDING ARCHITECTURE (CORE WALLS, COLUMN FACES, CENTER OF WINDOW MULLIONS, ETC) ARE DIMENSIONED TO THE FACE OF EXISTING DRYWALL AND CENTER OF NEW DRYWALL AND DEMOUNTABLE PARTITIONS
10. WHERE PARTITIONS MEET WINDOW MULLIONS, CONNECT WITH DOUBLE SIDED CLOSED CELL FOAM TAPE. DO NOT MECHANICALLY FASTEN OR OTHERWISE DAMAGE MULLION. ENSURE TYPICAL DETAIL IS MET. COORDINATE WITH OWNER AND DESIGNER PRIOR TO CONSTRUCTION.
11. INSTALL ALL NECESSARY BLOCKING/BACKING IN WALLS AT LOCATIONS INCLUDING, BUT NOT LIMITED TO, MILLWORK, A/V EQUIPMENT, LIGHT FIXTURES, ALL SPECIFIED FURNITURE, FIXTURES AND EQUIPMENT, SIGNAGE AND DISPLAY SHELVING.
12. PRIOR TO GYPSUM WALLBOARD INSTALLATION. INSTALL LEVEL AND PLUMB, RIGIDLY ANCHORED TO SUBSTRATE. REFER ALSO TO FF&E PLANS FOR REFERENCE AND COORDINATION.
13. COORDINATE NEW MECHANICAL, ELECTRICAL, AND DATA WITH NEW CONSTRUCTION, FURNITURE, AND EQUIPMENT INSTALLATIONS.
14. VERIFY ALL EXISTING CORRIDOR PARTITIONS ARE SMOKE SEALED.
15. PATCH AND REPAIR ALL CRACKS, HOLES AND DENTS IN EXISTING PARTITIONS AND COLUMNS. PREPARE AS REQUIRED TO RECEIVE NEW FINISH.

PARTITION PLAN KEYNOTES

C1	NOT USED
C2	PROVIDE BLOCKING IN PARTITION TO ACCOMMODATE TV AND AV. REFER TO FURNITURE PLAN, ELEVATION 1/ID7.03 AND ELECTRICAL CONSULTANT DRAWINGS.
C3	PATCH AND REPAIR WHERE REQUIRED CONCRETE BLOCK WALL PREP FOR NEW PAINT.
C4	REVIEW EXISTING WALL ASSEMBLY FOR ACCOMMODATION OF NEW PLUMBING. FURR OUT EXISTING PARTITION AS NEEDED TO ACCOMMODATE PLUMBING IF REQUIRED.
C5	REVIEW EXISTING WALL ASSEMBLY FOR BLOCKING TO ACCOMMODATE WALL MOUNTED TV. PROVIDE BLOCKING AS NEEDED, REFER TO 1/ID7.03 FOR BLOCKING LOCATION AND SIZE.
C6	DUCT SHAFT: WHERE P02 PARTITION INTERSECTS PERIMETER GLAZING AT EXTERIOR SIDE, MAINTAIN A MINIMUM 1" CLEARANCE BETWEEN PARTITION AND GLAZING. AT INTERIOR ATRIUM SIDE AND EXTERIOR SIDE - CONCEAL WITH OPAQUE FILM FULL HEIGHT/WIDTH OF GLAZED SURFACE. GC TO CHALK LINE DUCT SHAFT LOCATIONS ON SITE FOR REVIEW BY DESIGNER.
C7	PROVIDE ACCESS PANEL AT PARTITION TO ACCESS DUCT SHAFT. REFER TO MECHANICAL DRAWINGS FOR SIZE REQUIRED.
C8	PROVISION TO INFILL GAP BETWEEN GLAZING AND P02. REFER TO DETAILS 1/ID0.07 AND 2/ID0.07 FOR DETAILS.
C9	ALLOW FOR PENETRATIONS IN FLOOR SLAB AT EXTERIOR PERIMETER TO ACCOMMODATE NEW MECHANICAL WORK . REFER TO MECHANICAL DRAWINGS.

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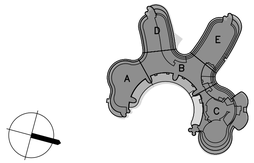
KEY PLAN



NO.	ISSUE/ REVISION	DATE
7	ISSUED FOR CONSTRUCTION	2026/05/22
6	ADDENDUM NO. 2	2026/03/27
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

PARTITION PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID2.03

REVISION NO.

7

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1 ID2.04 PARTITION PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

PARTITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS AND CONCRETE WALLS TO REMAIN.
E###	EXISTING SWING DOOR, FRAME AND HARDWARE.
	INDICATES NEW P01: ALTOS DEMOUNTABLE PARTITION. REFER TO PARTITION ASSEMBLIES LEGEND AND TEKNION DRAWINGS. GC TO COORDINATE. ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT ONLY. ALTOS INSTALLER TO LAY BASE TRACK OF PARTITON FOR YORK REGION TEAM APPROVAL/SIGN OFF BEFORE CONTINUING ALTOS INSTALLATION OR RISK RELOCATING ALTOS PARTITIONS AT NO COST TO THE REGION. PROVIDE YORK REGION TEAM 72 HOURS NOTICE ALTOS INSTALLER TO INCLUDE IN THEIR FEE, (10) TEN TRIPS TO ALTOS SUPPLIER WAREHOUSE, LOCATED IN PICKERING, ONTARIO TO PICK UP COMPONENTS FOR THE ALTOS PARTITION.
P0#	INDICATES NEW PARTITION ASSEMBLY TYPE. REFER TO PARTITION ASSEMBLIES LEGEND FOR DETAILS
D###	INDICATES NEW SWING DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
D###	INDICATES NEW ALTOS DOOR, FRAME AND HARDWARE. REFER TO TEKNION DRAWINGS FOR MORE INFORMATION.
	INDICATES NEW DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P07. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS FOR EXACT PLACEMENT AND SIZE OF SHAFT - COORDINATED ON SITE WITH CONSULTANTS. ALLOW FOR FILM APPLICATION AT GLAZING FOR ALL SHAFTS LOCATED ON WINDOW FILM. PROVIDE 12X12 ACCESS PANEL AS REQUIRED FOR MAINTENANCE
	INDICATES NEW MILLWORK (DASHED LINE INDICATES MILLWORK ABOVE)
MWXX	MILLWORK TAG

PARTITION PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL PARTITIONS TO BE P01 UNLESS NOTED OTHERWISE.
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5. LEVEL 2 DRYWALL FINISH PER ASTM C840 CAN BE USED FOR ALL AREAS CONCEALED IN PLENUM AND IN AREAS TO RECEIVE TILE, SOLID SURFACE, OR MILLWORK CLADDING..
6. PARTITION TYPE SHALL CONTINUE OVER DOORS AND GLAZING U.N.O TO MAINTAIN INTEGRITY OF THE ADJACENT WALL CONSTRUCTION AND RATINGS.
7. REFER TO ID0.02 FOR TYPICAL WALL ASSEMBLY CONSTRUCTION, ASSEMBLY NOTES, AND ACOUSTIC REQUIREMENTS.
8. REFER TO FINISH PLANS FOR ALL FINISHING INFORMATION.
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PARTITION PLAN KEYNOTES

- C1 NOT USED
- C2 PROVIDE BLOCKING IN PARTITION TO ACCOMMODATE TV AND AV. REFER TO FURNITURE PLAN, ELEVATION 1/ID7.03 AND ELECTRICAL CONSULTANT DRAWINGS.
- C3 PATCH AND REPAIR WHERE REQUIRED CONCRETE BLOCK WALL PREP FOR NEW PAINT.
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- C6 DUCT SHAFT: WHERE P02 PARTITION INTERSECTS PERIMETER GLAZING AT EXTERIOR SIDE, MAINTAIN A MINIMUM 1" CLEARANCE BETWEEN PARTITION AND GLAZING.
  AT INTERIOR ATRIUM SIDE AND EXTERIOR SIDE - CONCEAL WITH OPAQUE FILM FULL HEIGHT/WIDTH OF GLAZED SURFACE.
  GC TO CHALK LINE DUCT SHAFT LOCATIONS ON SITE FOR REVIEW BY DESIGNER.
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- C8 PROVISION TO INFILL GAP BETWEEN GLAZING AND P02. REFER TO DETAILS 1/ID0.07 AND 2/ID0.07 FOR DETAILS.
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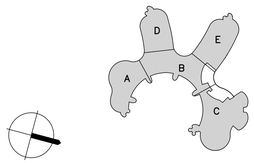
KEY PLAN



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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

PARTITION PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID2.04**

REVISION NO. 7

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1 ID2.05 PARTITION PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

PARTITION PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS AND CONCRETE WALLS TO REMAIN.
E###	EXISTING SWING DOOR, FRAME AND HARDWARE.
	INDICATES NEW P01: ALTOS DEMOUNTABLE PARTITION. REFER TO PARTITION ASSEMBLIES LEGEND AND TEKNION DRAWINGS. GC TO COORDINATE. ARCHITECTURAL DRAWINGS ARE FOR DESIGN INTENT ONLY. ALTOS INSTALLER TO LAY BASE TRACK OF PARTITON FOR YORK REGION TEAM APPROVAL/SIGN OFF BEFORE CONTINUING ALTOS INSTALLATION OR RISK RELOCATING ALTOS PARTITIONS AT NO COST TO THE REGION. PROVIDE YORK REGION TEAM 72 HOURS NOTICE ALTOS INSTALLER TO INCLUDE IN THEIR FEE, (10) TEN TRIPS TO ALTOS SUPPLIER WAREHOUSE, LOCATED IN PICKERING, ONTARIO TO PICK UP COMPONENTS FOR THE ALTOS PARTITION.
P0#	INDICATES NEW PARTITION ASSEMBLY TYPE. REFER TO PARTITION ASSEMBLIES LEGEND FOR DETAILS
D###	INDICATES NEW SWING DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
D###	INDICATES NEW ALTOS DOOR, FRAME AND HARDWARE. REFER TO TEKNION DRAWINGS FOR MORE INFORMATION.
	INDICATES NEW DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P07. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS FOR EXACT PLACEMENT AND SIZE OF SHAFT - COORDINATED ON SITE WITH CONSULTANTS. ALLOW FOR FILM APPLICATION AT GLAZING FOR ALL SHAFTS LOCATED ON WINDOW FILM. PROVIDE 12X12 ACCESS PANEL AS REQUIRED FOR MAINTENANCE
	INDICATES NEW MILLWORK (DASHED LINE INDICATES MILLWORK ABOVE)
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PARTITION PLAN SHEET NOTES

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5. LEVEL 2 DRYWALL FINISH PER ASTM C840 CAN BE USED FOR ALL AREAS CONCEALED IN PLENUM AND IN AREAS TO RECEIVE TILE, SOLID SURFACE, OR MILLWORK CLADDING..
6. PARTITION TYPE SHALL CONTINUE OVER DOORS AND GLAZING U.N.O TO MAINTAIN INTEGRITY OF THE ADJACENT WALL CONSTRUCTION AND RATINGS.
7. REFER TO ID0.02 FOR TYPICAL WALL ASSEMBLY CONSTRUCTION, ASSEMBLY NOTES, AND ACOUSTIC REQUIREMENTS.
8. REFER TO FINISH PLANS FOR ALL FINISHING INFORMATION.
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PARTITION PLAN KEYNOTES

- C1 NOT USED
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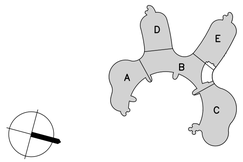

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PARTITION PLAN 3RD FL PARTIAL

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DRAWING NO.

ID2.05

REVISION NO.

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1 ID3.01 REFLECTED CEILING PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

REFLECTED CEILING PLAN LEGEND

(grey fill)	AREA NOT IN CONTRACT
(thick line)	EXISTING PARTITIONS/COLUMNS
C1 / ELEV	INDICATES CEILING TYPE. REFER TO CEILING ASSEMBLIES LEGEND ON ID0.02 FOR DETAILS INDICATES CEILING HEIGHT
FINISH	OPEN/GWB/SPECIALTY CEILING FINISH
	EXST - INDICATES EXISTING GWB CEILING TO REMAIN PAINT PT1. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
	NEW - INDICATES NEW GWB CEILING FOR PAINT PT1 FINISH. HEIGHT: 2489MM AFF +/- SITE VERIFY. ALIGN TO EXISTING GWB CEILING.
	NEW - INDICATES NEW GWB BULKHEAD FOR PAINT PT1 FINISH. HEIGHT: 2065MM AFF +/- SITE VERIFY.
	NEW - INDICATES NEW HORIZONTAL SHAFT BULKHEAD PAINT PT1 FINISH. HEIGHT: TO BE AS CLOSE TO DUCT AS ALLOWED. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANEL. SEE DETAIL 3/ ID3.04 FOR MORE INFORMATION
	C1 - INDICATES NEW CUSTOM CUT 2'x4' T-BAR GRID AND TILE EXPOSED GRID: PRELUDE 15/16" EXPOSED GRID" BY ARMSTRONG. ACT: "CALLA SQUARE LAY-IN #2821, WHITE, BY ARMSTRONG. NOTE: RCP SHOWN IS FOR SCHEMATIC AND TENDER PURPOSES. LAYOUT IS TO BE CONTINUOUSLY REVIEWED WITH DESIGNER AND OWNER. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COORDINATION. HEIGHT: 2501MM AFF +/- TO BE 1/2"HIGHER THAN GWB CEILING.

LIGHTING LEGEND

LIGHTING PLAN PROVIDED FOR LOCATION REFERENCE ONLY.
REFER TO ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS AND DETAILS.

○	NEW LED POTLIGHT
▭	NEW 1' X 4' LED LIGHT
⌖	NEW PENDANT LIGHT
– – – – – – –	NEW LED COVE LIGHTING

REFLECTED CEILING PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL GWB CEILINGS TO BE PAINTED PT-4, IN FLAT FINISH, U.N.O.
3. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND QUANTITIES. LIGHTS ARE SHOWN HERE FOR LOCATION INFORMATION ONLY.
4. VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. REPORT AND DISCREPANCIES TO THE CONSULTANTS IMMEDIATELY.
5. ALL NEW AND EXISTING GWB CEILINGS TO BE FINISHED TO A MINIMUM LEVEL 4 FINISH PER ASTM C840.
6. ATTACH HANGERS DIRECTLY TO THE STRUCTURE WHERE POSSIBLE. ELSEWHERE, ATTACH HANGERS IN V-PAIRS OR TO NESTED CARRYING CHANNELS SUSPENDED BELOW OBSTRUCTION. DO NOT ATTACH CEILINGS TO OVERHEAD DUCTS OR PIPES.
7. ALL WOOD BLOCKING WITHIN THE CEILING PLENUM TO BE COMPLETE WITH INTUMESCENT PAINT OR BE FIRE RATED.
8. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION OF INSTALLATION OF ALL CEILING MOUNTED FIXTURES AND EQUIPMENT. ADVISE DESIGNER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
9. SPEAKERS TO BE CENTRED IN CEILING TILE UNLESS NOTED OTHERWISE.
10. LIGHTING SUPPLIER SHALL BE RESPONSIBLE FOR CSA APPROVAL AND ALL COSTS INCURRED FOR LIGHT FIXTURES PRIOR TO INSTALLATION.
11. DESIGNER TO APPROVE GRID LAYOUT PRIOR TO INSTALL OF T-BAR GRID CEILING
12. ALL DIFFUSERS TO BE CUSTOM FRAME WITH T-BAR GRID AND FIT WITHIN ITS RESPECTIVE LOCATION AS SHOWN IN MECHANICAL DRAWINGS.
13. CONSULTANT AND OWNER TO SIGN OFF ON FINAL LAYOUT
14. WHERE NEW 4" POTLIGHTS ARE INSTALLED, ENSURE TO INFILL DRYWALL CEILING TO SUIT NEW LIGHT FIXUTRE. ENSURE SEAMLESS LOOK THROUGHOUT.
15. ENSURE NEW ALTOS WALLS AND CEILING ARE COORDINATED PRIOR TO INSTALL OF ALTOS PARTITIONS.

REFLECTED CEILING PLAN KEYNOTES

- R1 ALIGN FACE OF FINISHED CEILING WITH FACE OF FINISHED GWB PARTITION.
- R2 START CEILING GRID LAYOUT AT THIS LOCATION WITH FULL TILES. WHERE GRID ROWS REQUIRE SHORTENING, ALIGN CUT TILES ABOVE DEMOUNTABLE PARTITIONS AS INDICATED.
- R3 BULKHEAD ABOVE TO BE 12MM OVERLAP FROM MILLWORK BELOW.
- R4 NOTCH DRYWALL BULKHEAD AS REQUIRED TO FIT NEW LED PANEL LIGHTS WHERE GRID IS TOO NARROW TO ACCOMMODATE A FULL FIXTURE.

NOTE

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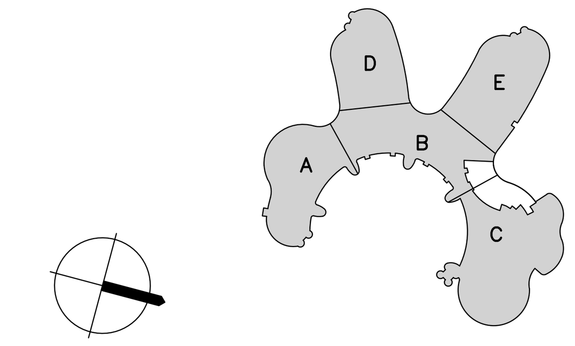
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT
YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS
17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE
REFLECTED CEILING PLAN - GROUND FL PARTIAL

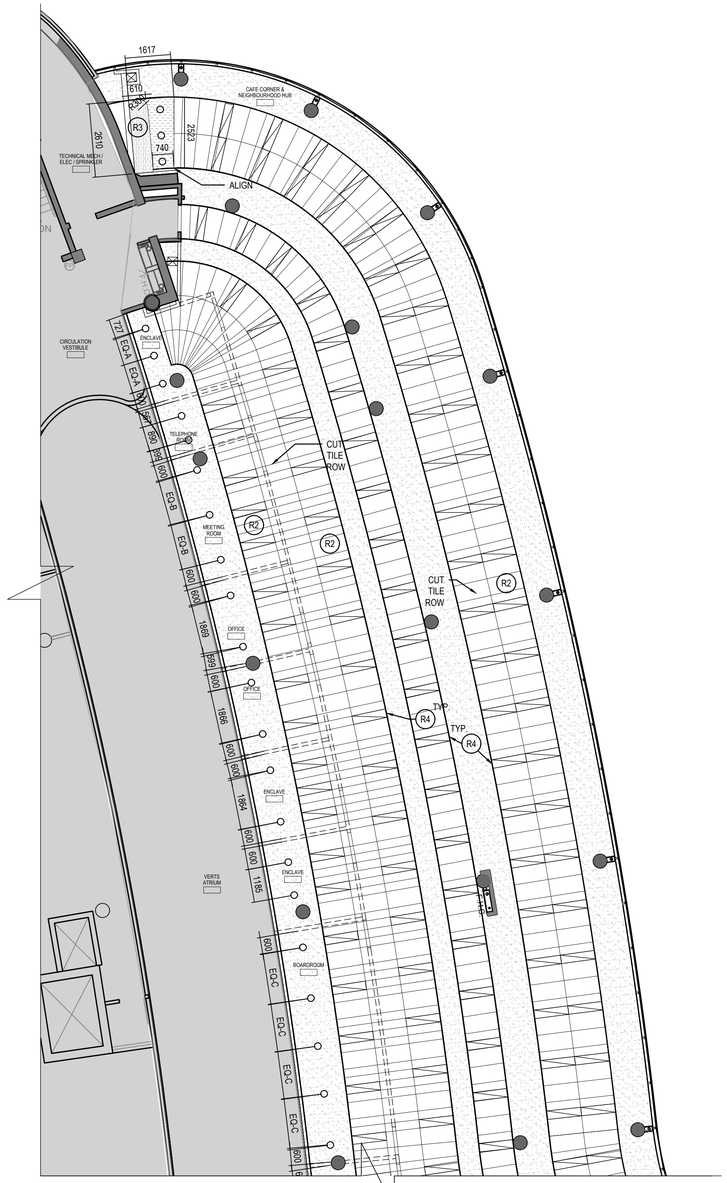
PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID3.01**

REVISION NO. 6

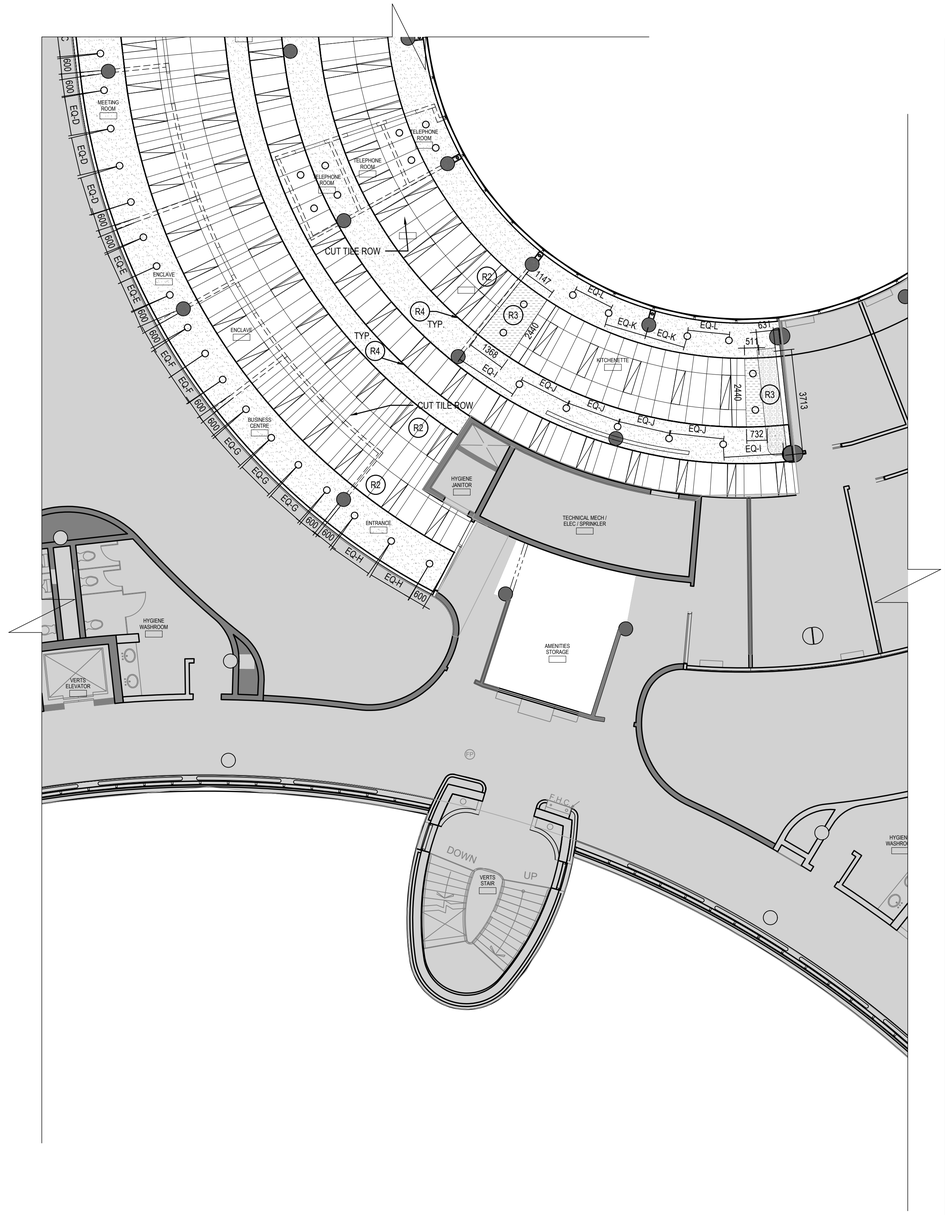
T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID3.01_REFLECTED CEILING_FLOOR 1.DWG

5/22/2026 10:48 AM



1 ID3.02 REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID3.02 REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

REFLECTED CEILING PLAN LEGEND

	AREA NOT IN CONTRACT
	EXISTING PARTITIONS/COLUMNS
C1 ELEV	INDICATES CEILING TYPE. REFER TO CEILING ASSEMBLIES LEGEND ON ID0.02 FOR DETAILS INDICATES CEILING HEIGHT
FINISH	OPEN/GWB/SPECIALTY CEILING FINISH
	EXST - INDICATES EXISTING GWB CEILING TO REMAIN PAINT PT1. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
	NEW - INDICATES NEW GWB CEILING FOR PAINT PT1 FINISH. HEIGHT: 2489MM AFF +/- SITE VERIFY. ALIGN TO EXISTING GWB CEILING.
	NEW - INDICATES NEW GWB BULKHEAD FOR PAINT PT1 FINISH. HEIGHT: 2065MM AFF +/- SITE VERIFY.
	NEW - INDICATES NEW HORIZONTAL SHAFT BULKHEAD PAINT PT1 FINISH. HEIGHT: TO BE AS CLOSE TO DUCT AS ALLOWED. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANEL. SEE DETAIL 3/ ID3.04 FOR MORE INFORMATION
	C1 - INDICATES NEW CUSTOM CUT 2'x4' T-BAR GRID AND TILE EXPOSED GRID: PRELUDE 15/16" EXPOSED GRID" BY ARMSTRONG. ACT: "CALLA SQUARE LAY-IN #2821, WHITE, BY ARMSTRONG. NOTE: RCP SHOWN IS FOR SCHEMATIC AND TENDER PURPOSES. LAYOUT IS TO BE CONTINUOUSLY REVIEWED WITH DESIGNER AND OWNER. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COORDINATION. HEIGHT: 2501MM AFF +/- TO BE 1/2"HIGHER THAN GWB CEILING.

LIGHTING LEGEND

LIGHTING PLAN PROVIDED FOR LOCATION REFERENCE ONLY.
REFER TO ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS AND DETAILS.

○	NEW LED POTLIGHT
	NEW 1' X 4' LED LIGHT
⌖	NEW PENDANT LIGHT
- - - - - - -	NEW LED COVE LIGHTING

REFLECTED CEILING PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL GWB CEILINGS TO BE PAINTED PT-4, IN FLAT FINISH, U.N.O.
3. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND QUANTITIES. LIGHTS ARE SHOWN HERE FOR LOCATION INFORMATION ONLY.
4. VERIFY ALL SITE CONDITIONS PRIOR TO CONSTRUCTION. REPORT AND DISCREPANCIES TO THE CONSULTANTS IMMEDIATELY.
5. ALL NEW AND EXISTING GWB CEILINGS TO BE FINISHED TO A MINIMUM LEVEL 4 FINISH PER ASTM C840.
6. ATTACH HANGERS DIRECTLY TO THE STRUCTURE WHERE POSSIBLE. ELSEWHERE, ATTACH HANGERS IN V-PAIRS OR TO NESTED CARRYING CHANNELS SUSPENDED BELOW OBSTRUCTION. DO NOT ATTACH CEILINGS TO OVERHEAD DUCTS OR PIPES.
7. ALL WOOD BLOCKING WITHIN THE CEILING PLENUM TO BE COMPLETE WITH INTUMESCENT PAINT OR BE FIRE RATED.
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10. LIGHTING SUPPLIER SHALL BE RESPONSIBLE FOR CSA APPROVAL AND ALL COSTS INCURRED FOR LIGHT FIXTURES PRIOR TO INSTALLATION.
11. DESIGNER TO APPROVE GRID LAYOUT PRIOR TO INSTALL OF T-BAR GRID CEILING
12. ALL DIFFUSERS TO BE CUSTOM FRAME WITH T-BAR GRID AND FIT WITHIN ITS RESPECTIVE LOCATION AS SHOWN IN MECHANICAL DRAWINGS.
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15. ENSURE NEW ALTOS WALLS AND CEILING ARE COORDINATED PRIOR TO INSTALL OF ALTOS PARTITIONS.

REFLECTED CEILING PLAN KEYNOTES

R1	ALIGN FACE OF FINISHED CEILING WITH FACE OF FINISHED GWB PARTITION.
R2	START CEILING GRID LAYOUT AT THIS LOCATION WITH FULL TILES. WHERE GRID ROWS REQUIRE SHORTENING, ALIGN CUT TILES ABOVE DEMOUNTABLE PARTITIONS AS INDICATED.
R3	BULKHEAD ABOVE TO BE 12MM OVERLAP FROM MILLWORK BELOW.
R4	NOTCH DRYWALL BULKHEAD AS REQUIRED TO FIT NEW LED PANEL LIGHTS WHERE GRID IS TOO NARROW TO ACCOMMODATE A FULL FIXTURE.

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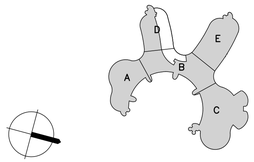
KEY PLAN



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ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

REFLECTED CEILING PLAN - 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID3.02

REVISION NO.

6

T:\PROJECTS\2025\B25-50003_YORK\ADMIN\7 - SOFTWARE\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID3.02_REFLECTED CEILING_FLOOR 2.DWG

5/22/2026 10:49 AM

1 ID3.03 REFLECTED CEILING PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS/COLUMNS
- C1 / ELEV — INDICATES CEILING TYPE. REFER TO CEILING ASSEMBLIES LEGEND ON ID0.02 FOR DETAILS; INDICATES CEILING HEIGHT
- FINISH — OPEN/GWB/SPECIALTY CEILING FINISH
- **EXST** - INDICATES EXISTING GWB CEILING TO REMAIN PAINT PT1. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
- **NEW** - INDICATES NEW GWB CEILING FOR PAINT PT1 FINISH. HEIGHT: 2489MM AFF +/- SITE VERIFY. ALIGN TO EXISTING GWB CEILING.
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- **NEW** - INDICATES NEW HORIZONTAL SHAFT BULKHEAD PAINT PT1 FINISH. HEIGHT: TO BE AS CLOSE TO DUCT AS ALLOWED. COORDINATE WITH MECHANICAL DRAWINGS. PROVIDE ACCESS PANEL. SEE DETAIL 3/ ID3.04 FOR MORE INFORMATION
- **C1** - INDICATES NEW CUSTOM CUT 2'x4' T-BAR GRID AND TILE EXPOSED GRID: PRELUDE 15/16" EXPOSED GRID" BY ARMSTRONG. ACT: "CALLA SQUARE LAY-IN #2821, WHITE, BY ARMSTRONG. NOTE: RCP SHOWN IS FOR SCHEMATIC AND TENDER PURPOSES. LAYOUT IS TO BE CONTINUOUSLY REVIEWED WITH DESIGNER AND OWNER. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR COORDINATION. HEIGHT: 2501MM AFF +/- TO BE 1/2"HIGHER THAN GWB CEILING.

LIGHTING LEGEND

LIGHTING PLAN PROVIDED FOR LOCATION REFERENCE ONLY.
REFER TO ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS AND DETAILS.

- NEW LED POTLIGHT
- NEW 1' X 4' LED LIGHT
- NEW PENDANT LIGHT
- NEW LED COVE LIGHTING

REFLECTED CEILING PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL GWB CEILINGS TO BE PAINTED PT-4, IN FLAT FINISH, U.N.O.
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- R3 BULKHEAD ABOVE TO BE 12MM OVERLAP FROM MILLWORK BELOW.
- R4 NOTCH DRYWALL BULKHEAD AS REQUIRED TO FIT NEW LED PANEL LIGHTS WHERE GRID IS TOO NARROW TO ACCOMMODATE A FULL FIXTURE.

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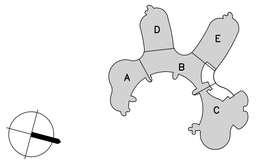

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ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

REFLECTED CEILING PLAN - 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	AUTHOR	CHECKER

DRAWING NO. **ID3.03**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID3.03_REFLECTED CEILING_FLOOR 2.DWG

5/22/2026 10:50 AM

1 ID3.04 REFLECTED CEILING PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

REFLECTED CEILING PLAN LEGEND

- AREA NOT IN CONTRACT
- EXISTING PARTITIONS/COLUMNS
- C1 / ELEV — INDICATES CEILING TYPE. REFER TO CEILING ASSEMBLIES LEGEND ON ID0.02 FOR DETAILS; INDICATES CEILING HEIGHT
- FINISH — OPEN/GWB/SPECIALTY CEILING FINISH
- **EXST** - INDICATES EXISTING GWB CEILING TO REMAIN. PAINT PT1. PATCH AND REPAIR AS NEEDED. ENSURE ALL ABANDONED OPENINGS ARE ADDRESSED
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LIGHTING LEGEND

LIGHTING PLAN PROVIDED FOR LOCATION REFERENCE ONLY.
REFER TO ELECTRICAL PLANS FOR LIGHTING SPECIFICATIONS AND DETAILS.

- NEW LED POTLIGHT
- NEW 1' X 4' LED LIGHT
- NEW PENDANT LIGHT
- NEW LED COVE LIGHTING

REFLECTED CEILING PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
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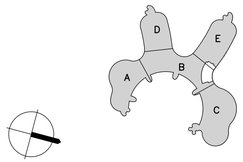

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LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

REFLECTED CEILING PLAN - 3RD FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID3.04**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID3.04_REFLECTED CEILING_FLOOR 3.DWG

5/22/2026 10:50 AM

1 ID4.01 FLOOR FINISHES PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

FLOOR FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
FXXX	INDICATES FLOOR FINISH. REFER TO FINISH SCHEDULE ON ID0.06
	INDICATES DIRECTION OF FLOOR INSTALL/GRAIN
TRx	INDICATES FLOOR FINISH TRANSITION. REFER TO ID0.07 FOR DETAILS.

FLOOR FINISHES

	CP - CARPET TILE
	RS - RESILIENT PLANK FLOORING
	FT - FLOOR TILE
	WM - WALK-OFF MAT

FLOOR FINISH SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. REFER TO FINISH SCHEDULE ON ID0.06 FOR EXACT SPECIFICATIONS FOR ALL FINISH MATERIALS.
3. CARPET REPLACEMENT FOR GROUND HALL AND COMMITTEE ROOM B IS TO BE COMPLETED ON WEEKENDS AND EVENINGS. GC TO MINIMIZE THE CONSTRUCTION OF THE SPACE.
4. BASE THROUGHOUT TO BE B-1, UNLESS NOTED OTHERWISE.
5. USE THE LARGEST CONTINUOUS PIECE OF MATERIAL AS PROVIDED BY THE MANUFACTURER TO COMPLETE THE INSTALLATION OF EACH FLOOR AND BASE.
6. RUBBER BASE IS NOT TO END ON AN OUTSIDE CORNER U.N.O. RETURN RUBBER BASE AROUND CORNER AS REQUIRED TO ENSURE ADEQUATE ADHESION.
7. NO WALL BASE TO BE INSTALLED ON AREAS OF DEMOUNTABLE PARTITIONS, MILLWORK, AND ALONG PERIMETER WALLS UNDER RADIANT CABINETS, U.N.O.
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FLOOR FINISH PLAN KEYNOTES

F1 ALIGN RF-1 WITH ANGLE OF MILLWORK.

F2 ALIGN RF-1 WITH ALTO PARTITION ANGLE.

F3 FLOORING IN AMENITIES STORAGE TO REMAIN AS IS.

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600 – 158 Sterling Road
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NOTE

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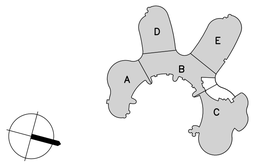
KEY PLAN



NO.	ISSUE/ REVISION	DATE
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ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FLOOR FINISHES PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.01**

REVISION NO. 6

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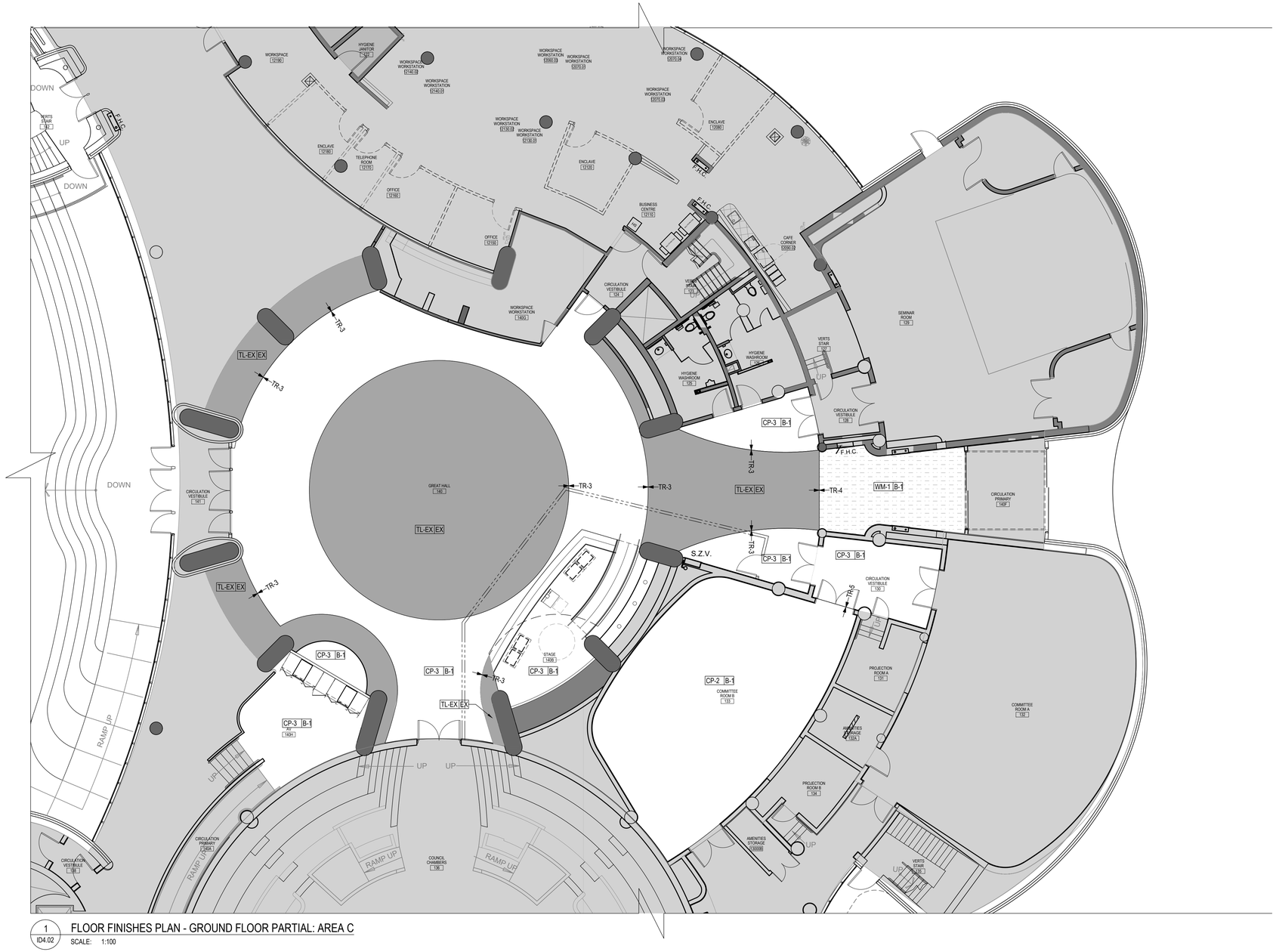

1 ID4.02 FLOOR FINISHES PLAN - GROUND FLOOR PARTIAL: AREA C

SCALE: 1:100

FLOOR FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
FXXX	INDICATES FLOOR FINISH. REFER TO FINISH SCHEDULE ON ID0.06
	INDICATES DIRECTION OF FLOOR INSTALL/GRAIN
TRx	INDICATES FLOOR FINISH TRANSITION. REFER TO ID0.07 FOR DETAILS.

FLOOR FINISHES

	CP - CARPET TILE
	RS - RESILIENT PLANK FLOORING
	FT - FLOOR TILE
	WM - WALK-OFF MAT

FLOOR FINISH SHEET NOTES

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3. CARPET REPLACEMENT FOR GROUND HALL AND COMMITTEE ROOM B IS TO BE COMPLETED ON WEEKENDS AND EVENINGS. GC TO MINIMIZE THE CONSTRUCTION OF THE SPACE.
4. BASE THROUGHOUT TO BE B-1, UNLESS NOTED OTHERWISE.
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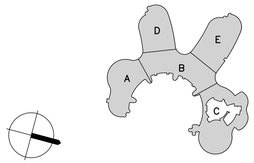
KEY PLAN



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PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FLOOR FINISHES PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.02**

REVISION NO. 6

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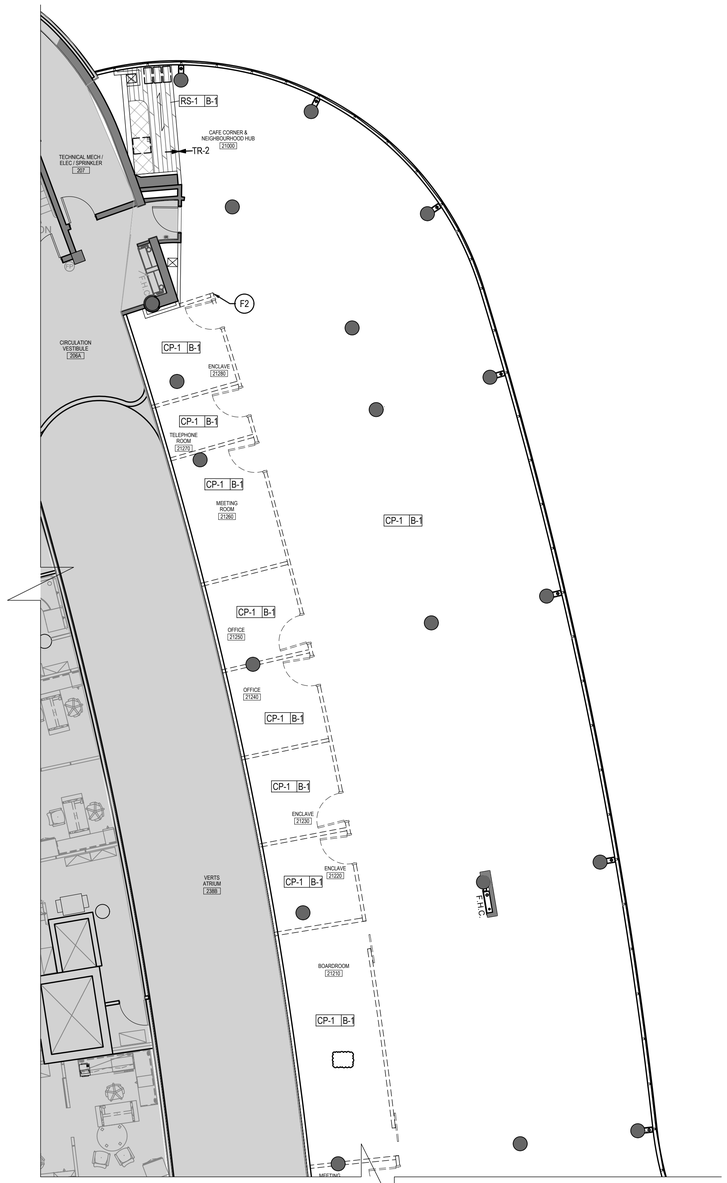
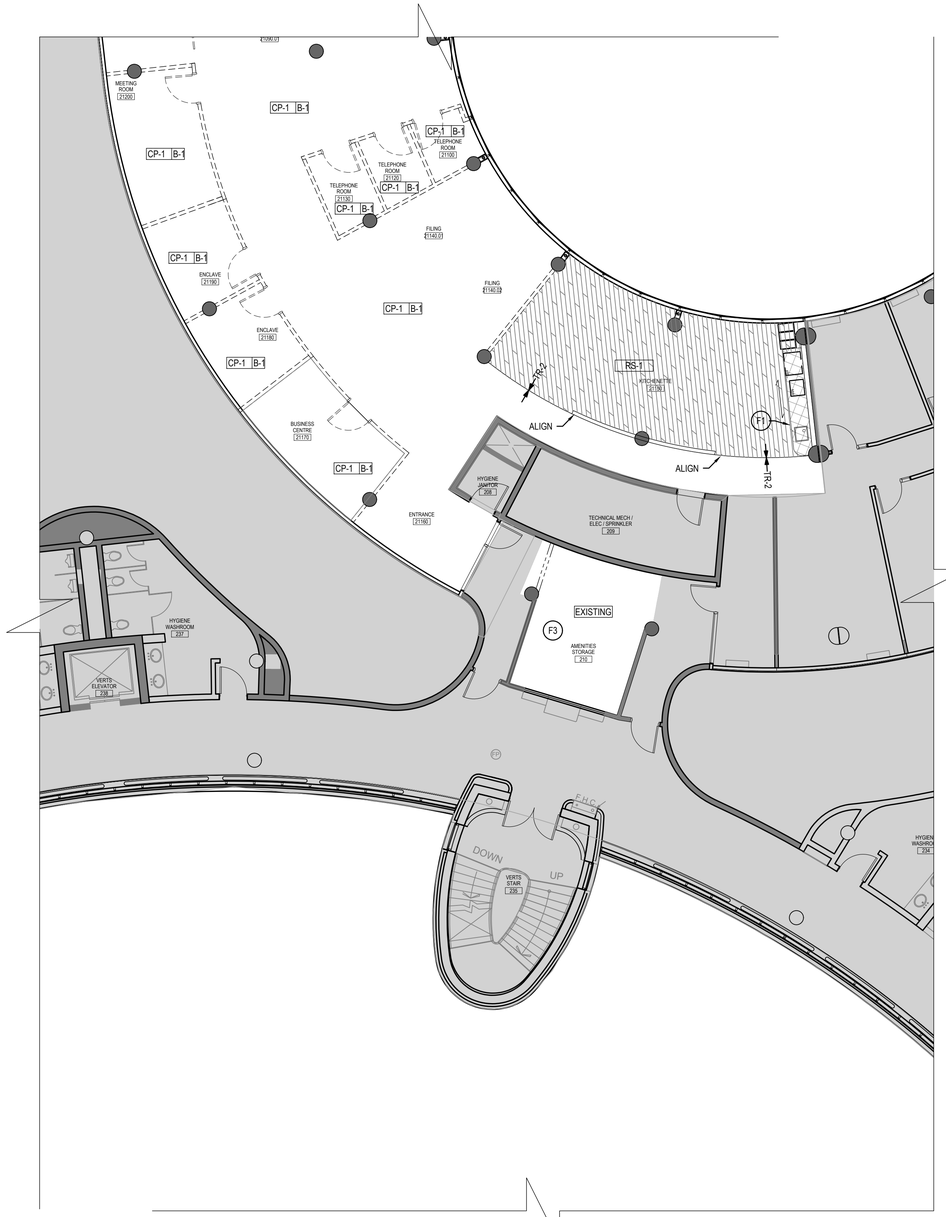


1 ID4.03 FLOOR FINISHES PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID4.03 FLOOR FINISHES PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

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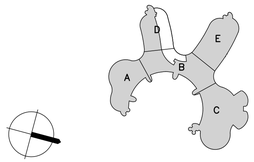

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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FLOOR FINISHES PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID4.03

REVISION NO.

6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID4.03_FLOOR FINISHES PLAN_FLOOR 2.DWG

5/22/2026 12:47 PM

1 ID4.04 FLOOR FINISHES PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

FLOOR FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
FXXX	INDICATES FLOOR FINISH. REFER TO FINISH SCHEDULE ON ID0.06
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F3 FLOORING IN AMENITIES STORAGE TO REMAIN AS IS.

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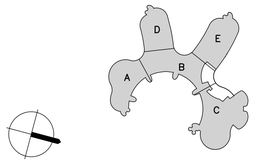
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FLOOR FINISHES PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. ID4.04

REVISION NO. 6

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1 ID4.05 FLOOR FINISHES PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

FLOOR FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
FXXX	INDICATES FLOOR FINISH. REFER TO FINISH SCHEDULE ON ID0.06
	INDICATES DIRECTION OF FLOOR INSTALL/GRAIN
TRx	INDICATES FLOOR FINISH TRANSITION. REFER TO ID0.07 FOR DETAILS.

FLOOR FINISHES

	CP - CARPET TILE
	RS - RESILIENT PLANK FLOORING
	FT - FLOOR TILE
	WM - WALK-OFF MAT

FLOOR FINISH SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. REFER TO FINISH SCHEDULE ON ID0.06 FOR EXACT SPECIFICATIONS FOR ALL FINISH MATERIALS.
3. CARPET REPLACEMENT FOR GROUND HALL AND COMMITTEE ROOM B IS TO BE COMPLETED ON WEEKENDS AND EVENINGS. GC TO MINIMIZE THE CONSTRUCTION OF THE SPACE.
4. BASE THROUGHOUT TO BE B-1, UNLESS NOTED OTHERWISE.
5. USE THE LARGEST CONTINUOUS PIECE OF MATERIAL AS PROVIDED BY THE MANUFACTURER TO COMPLETE THE INSTALLATION OF EACH FLOOR AND BASE.
6. RUBBER BASE IS NOT TO END ON AN OUTSIDE CORNER U.N.O. RETURN RUBBER BASE AROUND CORNER AS REQUIRED TO ENSURE ADEQUATE ADHESION.
7. NO WALL BASE TO BE INSTALLED ON AREAS OF DEMOUNTABLE PARTITIONS, MILLWORK, AND ALONG PERIMETER WALLS UNDER RADIANT CABINETS, U.N.O.
8. ALL ADHESIVES, SEALANTS,PAINTS, COATINGS, FLOORING AND WOOD PRODUCTS ARE TO BE LOW-EMITTING AND SHALL MEET THE REQUIREMENTS OF REGION STANDARD 01 61 00. SHOP DRAWINGS AND/OR PRODUCT DATA SHEETS IDENTIFYING THE PRODUCT'S EMISSIONS AND VOC CONTENT SHALL BE SUBMITTED TO THE REGION'S PROJECT MANAGER FOR REVIEW PRIOR TO INSTALLATION OR APPLICATION. PRODUCTS THAT HAVE NOT BEEN APPROVED ARE TO BE REMOVED FROM THE SITE
9. CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEETS WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT SHALL BE THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
10. INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW, AND ALLOW FOR ANY FLOOR PREPARATION THAT MAY BE REQUIRED TO MAKE FLOOR READY TO RECEIVE NEW FINISH. REPAIR, LEVEL AND PROVIDE A SMOOTH TROWEL FINISH AS REQUIRED.
11. WHERE VINYL SHEET FLOORING MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROX. 2'-0".
12. WHERE VINYL FLOORING IS SPECIFIED, AREA TO RECEIVE APPLIED BASE AS SPECIFIED.
13. ALL NEW FLOORING FINISH CHANGES SHALL OCCUR AT CENTRE-LINE OF DOOR.
14. WHERE A NEW DOOR OPENING HAS BEEN MADE AT AN EXISTING WALL, EXTEND/PROVIDE NEW OR EXISTING FLOORING FINISH (BOTH SIDES OF OPENING WHERE APPLICABLE) WHICH IS NOTED TO REMAIN, TO CENTRE-LINE OF DOOR. ALLOW FOR NEW TO MATCH EXISTING. ALL FLOOR FINISH CHANGES MUCH OCCUR AT THE CENTRE-LINE OF DOOR.
15. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS, AND WORKMANSHIP.
16. FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS, WOOD DOORS, AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION AND SHOULD ALLOW PAINT/FINISH TOUCH-UPS.
17. GC TO SUBMIT TO THE ARCHITECT SAMPLE SUBMITTALS FOR REVIEW FOR ALL FINISHES PRIOR TO SUPPLY/INSTALL. FAILURE TO DO SO WILL RESULT IN REVISIONS TO INCORRECT WORK AT GC EXPENSE INCLUDING ALL TIME, MATERIAL, AND LABOUR TO CORRECT THE ISSUE.
18. INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW AND ALLOW FOR NAY FLOOR PREPARATION THAT MAY BE REQUIRED. REPAIR, LEVEL AND PROVIDE SMOOTH TROWEL FINISH AS REQUIRED.
19. ALTERNATIVE MATERIAL WILL NOT BE CONSIDERED WHERE THE GC FAILED TO PROVIDE SUBMITTALS AND ORDER MATERIALS IN A TIMELY MATTER.
20. WHERE EXISTING JUNCTION BOXES ARE BEING REMOVED, PATCH, PRIME, AND PAINT WALLS TO MATCH.
21. WHERE NEW FLOOR ABUTS TO EXISTING, GC TO REVIEW TRANSITION, IF NEW TRANSITION IS REQUIRED, PROVIDE AND INSTALL SS SCHLUTER, (SCHIENE) STAINLESS STEEL TRANSITION. GC TO PROVIDE ARCHITECT WITH SUBMITTAL FOR REVIEW PRIOR TO SUPPLY/INSTALL OF TRANSITIONS. GC TO SITE VERIFY HEIGHT OF FLOOR MATERIAL AND ORDER TRANSITION APPROPRIATE FOR APPLICATION

FLOOR FINISH PLAN KEYNOTES

F1 ALIGN RF-1 WITH ANGLE OF MILLWORK.

F2 ALIGN RF-1 WITH ALTO PARTITION ANGLE.

F3 FLOORING IN AMENITIES STORAGE TO REMAIN AS IS.

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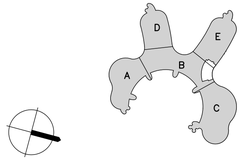
KEY PLAN



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YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FLOOR FINISHES PLAN 3RD FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.05**

REVISION NO. 6

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1 ID4.11 WALL FINISHES PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

WALL FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
FINISH	INDICATES WALL FINISH AND EXTENT. REFER TO FINISH SCHEDULE ON ID0.06

WALL FINISH SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. REFER TO FINISH SCHEDULE ON ID0.06 FOR EXACT SPECIFICATIONS FOR ALL FINISH MATERIALS.
3. ALL WALLS TO BE PAINTED PT-1, U.N.O.
4. TECHNICAL/MECHANICAL/ELECTRICAL/ISPRINKLER AND HYGIENE JANITOR ROOMS TO BE PAINTED PT-1
5. TOUCH UP ALL EXISTING PAINTED WALL SURFACES TO LIKE NEW CONDITION. REPAINT ENTIRE SURFACE AS REQUIRED, NO PATCH PAINTING.
6. PATCH AND REPAIR ALL EXISTING TO REMAIN WALL COVERINGS AND WALL TILE AS REQUIRED. UNRECOVERABLE FINISHES TO BE BROUGHT TO THE ATTENTION OF THE CONSULTANT.
7. FOR EXISTING DOORS AND FRAMES RECEIVING NEW FINISHES, REMOVE ALL EXISTING SIGNAGE AND HARDWARE PRIOR TO PAINTING AND RE-INSTALL UPON COMPLETION IF INSTRUCTED TO DO SO. DO NOT PAINT FIRE LABELS ON RATED DOORS AND FRAMES.
8. NO THERMOSTATS, LIGHT SWITCHES, WALL MOUNTED A/V PANELS, ETC. TO BE MOUNTED ON WALLS WITH ACCENT MATERIAL OR PAINT COLORS. COORDINATE ON SITE WITH CONSULTANTS PRIOR TO PROCEEDING IF CONFLICT ARISES.
9. ALL TRANSITIONS BETWEEN TILE AND ADJACENT WALL FINISH TYPES TO BE SCHLUTER IN ANODIZED ALUMINUM FINISH UNLESS NOTED OTHERWISE. PROVIDE SAMPLE OF ALL TRANSITION STRIPS REQUIRED ON THIS PROJECT TO CONSULTANT FOR REVIEW PRIOR TO ORDER OF MATERIAL.
10. FINISHES TO CONTINUE TO THE NEAREST FULL HEIGHT DOOR FRAME, DESIGN ELEMENT (INCLUDING REVEALS), OR CORNER, U.N.O.
11. ALL WALL REVEALS TO BE PAINTED TO MATCH THE WALL THEY ARE ON, U.N.O.
12. REFER TO DOOR SCHEDULE FOR ALL DOOR FINISH INFORMATION.
13. DO NOT MAKE JOINTS WITHIN 75mm OF AN INSIDE CORNER AND 300mm OF AN OUTSIDE CORNER. WHERE A CHANGE OF MATERIAL AT AN OUTSIDE CORNER IS REQUIRED, TAKE MATERIAL AROUND CORNER FOR 10mm AND SECURE WITH HIGH-STRENGTH ADHESIVE.
14. DEMOUNTABLE PARTITIONS ARE TO BE FINISHED BY SELECTED VENDOR, EXCLUDING THE GLAZING FILM.
15. PT-2 DOES NOT APPLY TO ALTOS DOOR FRAMES SUPPLIED BY TEKNION FURNITURE, OR WOOD VENEER DOORS.
16. GC TO REMOVE BLINDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.
17. CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEETS WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT IS THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
18. ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT-4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.
19. APPLY (1) PRIMER COAT ON ALL NEW AND EXISTING GYPSUM WALL AND ALL EXISTING CONCRETE WALL SURFACES AND (2) FINISH COATS OF PREMIUM QUALITY PAINT.
20. PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.
21. PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALL FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.
22. ALL PAINTS SHALL BE LOW VOC.
23. REPAIR, PATCH, AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES, AND FINISHES, ETC. WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.
24. AT NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS AND FRAMES TO INCLUDE CLOSETS, STORAGE, AND UTILITY ROOMS, TO RECEIVE NEW PAINT FINISH. FINISH BOTH SIDES OF OPENING AS SPECIFIED, U.N.O., PROVIDE LIGHT SANDING BETWEEN COATS AND DOOR FACES. EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXISTING BASE BUILDING STORAGE, SERVICE, UTILITY (ETC) DOORS SHALL RECIEVE NEW PAINT FINISH, U.N.O. ON TENANT SIDE ONLY. DO NOT PAINT TEKNION ALTOS WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
25. AT ANY EXISTING DOORS AND FRAMES, CONTRACTOR SHALL ENSURE ALL SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS OR PENETRATIONS PRIOR TO APPLICATION OF FINISH. REPAIR, PATCH, OR FILL AS REQUIRED OR ADVISE GC BEFORE PROCEEDING. BY APPLYING FINISH, CONTRACTOR ACCEPTS CONDITION OF SURFACE.
26. PAINTING CONTRACTOR SHALL ENSURE THAT NEW PAINT FINISHES SPECIFIED (LATEX) CAN BE SUCCESSFULLY APPLIED TO THE EXISTING PAINT TYPE. REVIEW ANY RELEVANT SITE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
27. PAINTING SCOPE OF WORK SHALL INCLUDE: WHEREVER IDENTIFIED ON PLAN OR NOT, ALL NEW AND EXISTING DRYWALL PARTITIONS; ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS; COLUMNS; CONCRETE WALLS; ALL METAL DOORS; ALL DRYWALL SURFACES AND BULKHEADS AT PERIMETER OF FLOOR AND THROUGHOUT, TO THE UNDERSIDE OF CEILING, ALL U.N.O.
14. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS, AND WORKMANSHIP.
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19. PAINT FINISHES FOR KITCHENETTES TO BE COORDINATED WITH DESIGNER AND OWNER PRIOR TO CONSTRUCTION

WALL FINISH PLAN KEYNOTES

W1 COLUMNS TO BE PAINTED TO MATCH ADJACENT EXISTING WHITE PAINT. DATUM LINE TO ALIGN WITH THE EXISTING BULKHEAD AT THE ENTRANCE TO THE WASHROOM AND COMMITTEE ROOM B - CONFIRM EXACT HEIGHT WITH OWNER AND DESIGNER PRIOR TO PAINTING.

W2 FINISHES IN AMENITIES STORAGE TO REMAIN AS IS.

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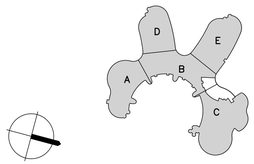

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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

WALL FINISHES PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.11**

REVISION NO. 6

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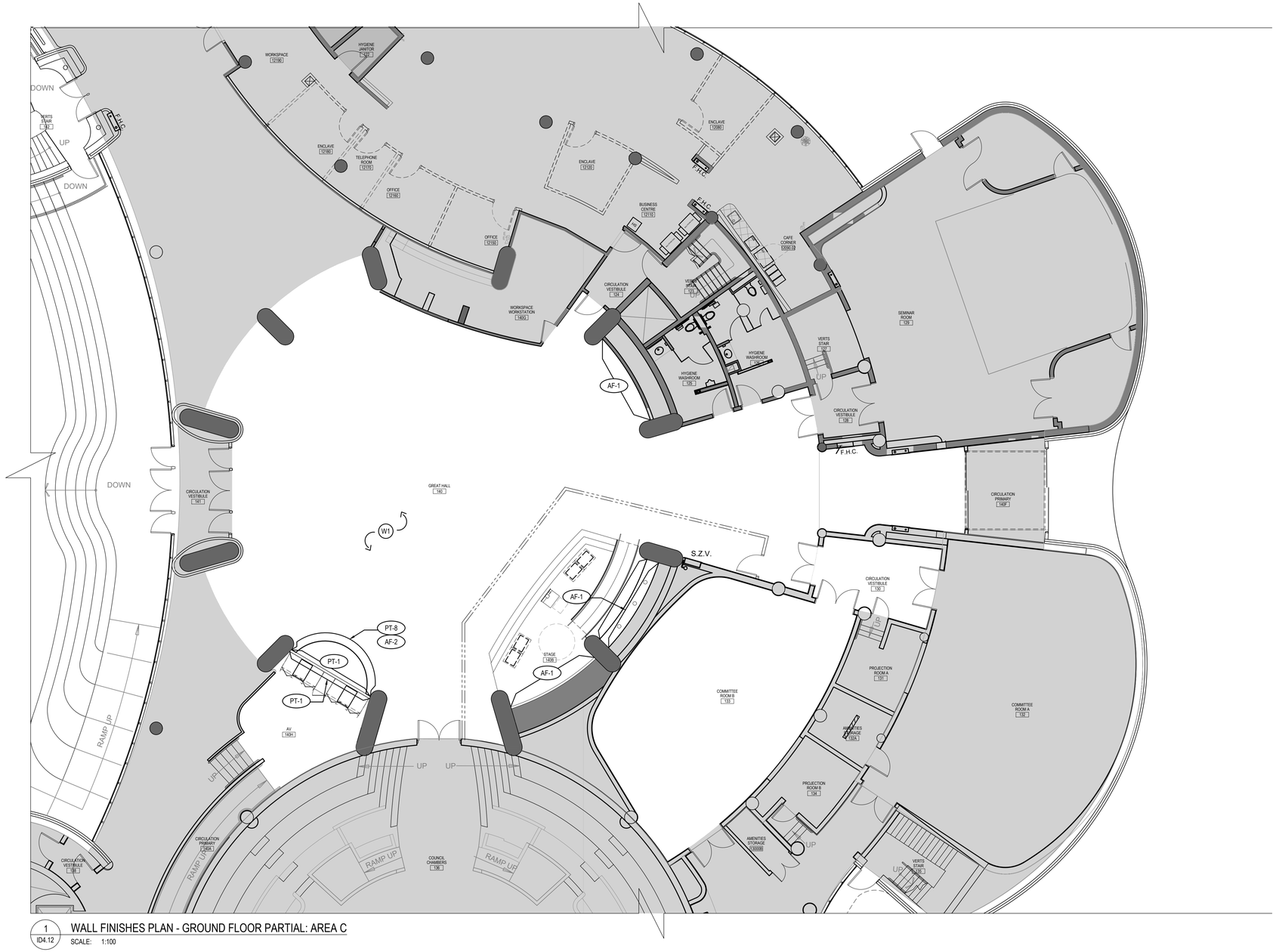

1 ID4.12 WALL FINISHES PLAN - GROUND FLOOR PARTIAL: AREA C

SCALE: 1:100

WALL FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
FINISH	INDICATES WALL FINISH AND EXTENT. REFER TO FINISH SCHEDULE ON ID0.06

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WALL FINISH PLAN KEYNOTES

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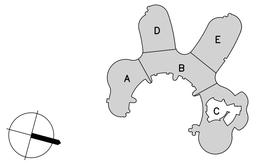

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2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

WALL FINISHES PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.12**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORK\ADMIN\7 - SOFTWARE\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID4.12_WALL FINISHES PLAN_FLOOR 1.DWG

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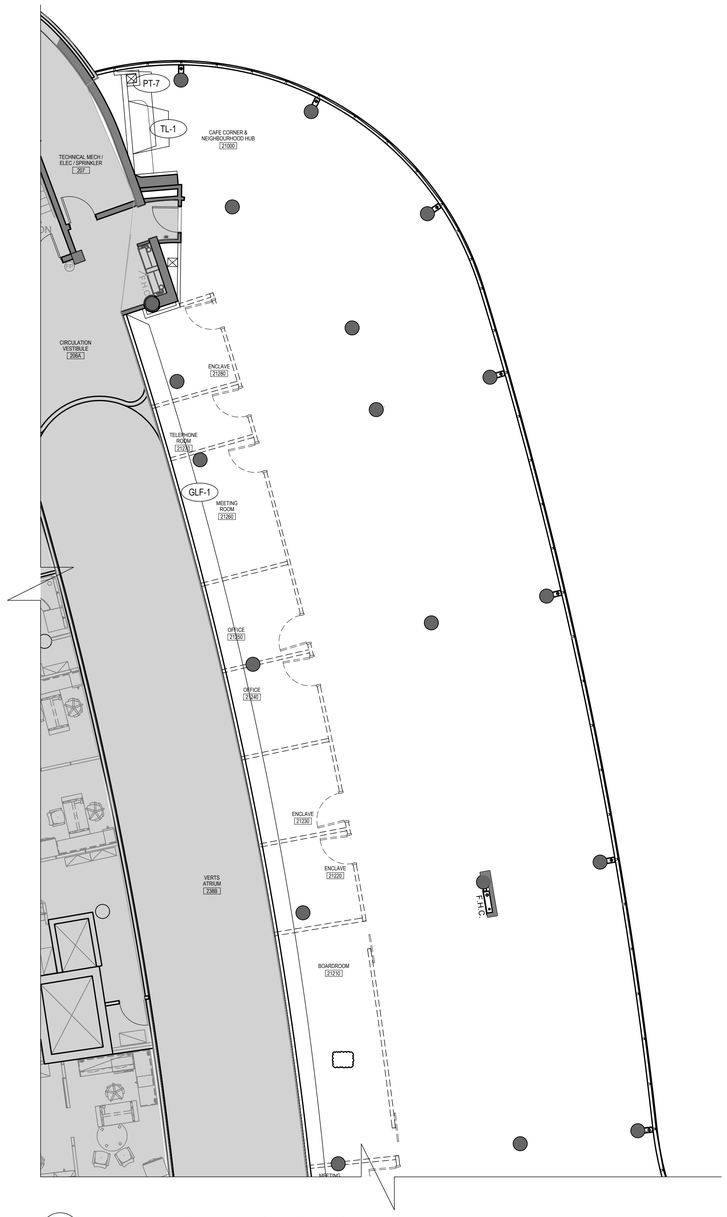
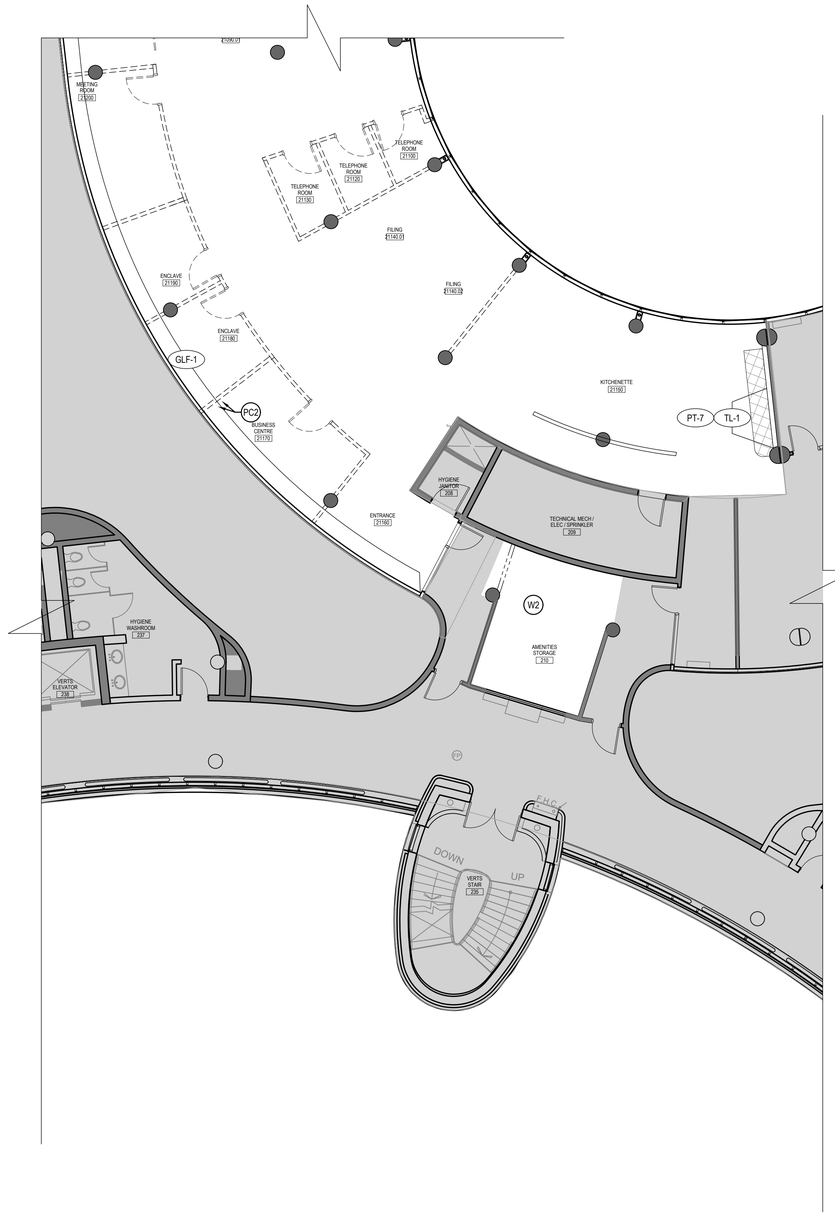


1 ID4.13 WALL FINISHES PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID4.13 WALL FINISHES PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

WALL FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
FINISH	INDICATES WALL FINISH AND EXTENT. REFER TO FINISH SCHEDULE ON ID0.06

WALL FINISH SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. REFER TO FINISH SCHEDULE ON ID0.06 FOR EXACT SPECIFICATIONS FOR ALL FINISH MATERIALS.
3. ALL WALLS TO BE PAINTED PT-1, U.N.O.
4. TECHNICAL/MECHANICAL/ELECTRICAL//SPRINKLER AND HYGIENE JANITOR ROOMS TO BE PAINTED PT-1
5. TOUCH UP ALL EXISTING PAINTED WALL SURFACES TO LIKE NEW CONDITION. REPAINT ENTIRE SURFACE AS REQUIRED, NO PATCH PAINTING.
6. PATCH AND REPAIR ALL EXISTING TO REMAIN WALL COVERINGS AND WALL TILE AS REQUIRED. UNRECOVERABLE FINISHES TO BE BROUGHT TO THE ATTENTION OF THE CONSULTANT.
7. FOR EXISTING DOORS AND FRAMES RECEIVING NEW FINISHES, REMOVE ALL EXISTING SIGNAGE AND HARDWARE PRIOR TO PAINTING AND RE-INSTALL UPON COMPLETION IF INSTRUCTED TO DO SO. DO NOT PAINT FIRE LABELS ON RATED DOORS AND FRAMES.
8. NO THERMOSTATS, LIGHT SWITCHES, WALL MOUNTED A/V PANELS, ETC. TO BE MOUNTED ON WALLS WITH ACCENT MATERIAL OR PAINT COLORS. COORDINATE ON SITE WITH CONSULTANTS PRIOR TO PROCEEDING IF CONFLICT ARISES.
9. ALL TRANSITIONS BETWEEN TILE AND ADJACENT WALL FINISH TYPES TO BE SCHLUTER IN ANODIZED ALUMINUM FINISH UNLESS NOTED OTHERWISE. PROVIDE SAMPLE OF ALL TRANSITION STRIPS REQUIRED ON THIS PROJECT TO CONSULTANT FOR REVIEW PRIOR TO ORDER OF MATERIAL.
10. FINISHES TO CONTINUE TO THE NEAREST FULL HEIGHT DOOR FRAME, DESIGN ELEMENT (INCLUDING REVEALS), OR CORNER, U.N.O.
11. ALL WALL REVEALS TO BE PAINTED TO MATCH THE WALL THEY ARE ON, U.N.O.
12. REFER TO DOOR SCHEDULE FOR ALL DOOR FINISH INFORMATION.
13. DO NOT MAKE JOINTS WITHIN 75mm OF AN INSIDE CORNER AND 300mm OF AN OUTSIDE CORNER. WHERE A CHANGE OF MATERIAL AT AN OUTSIDE CORNER IS REQUIRED, TAKE MATERIAL AROUND CORNER FOR 10mm AND SECURE WITH HIGH-STRENGTH ADHESIVE.
14. DEMOUNTABLE PARTITIONS ARE TO BE FINISHED BY SELECTED VENDOR, EXCLUDING THE GLAZING FILM.
15. PT-2 DOES NOT APPLY TO ALTOS DOOR FRAMES SUPPLIED BY TEKNION FURNITURE, OR WOOD VENEER DOORS.
16. GC TO REMOVE BLINDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.
17. CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEETS WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT IS THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
18. ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT-4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.
19. APPLY (1) PRIMER COAT ON ALL NEW AND EXISTING GYPSUM WALL AND ALL EXISTING CONCRETE WALL SURFACES AND (2) FINISH COATS OF PREMIUM QUALITY PAINT.
20. PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.
21. PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALL FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.
22. ALL PAINTS SHALL BE LOW VOC.
23. REPAIR, PATCH, AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES, AND FINISHES, ETC. WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.
24. AT NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS AND FRAMES TO INCLUDE CLOSETS, STORAGE, AND UTILITY ROOMS, TO RECEIVE NEW PAINT FINISH, FINISH BOTH SIDES OF OPENING AS SPECIFIED, U.N.O., PROVIDE LIGHT SANDING BETWEEN COATS AND DOOR FACES. EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXISTING BASE BUILDING STORAGE, SERVICE, UTILITY (ETC) DOORS SHALL RECIEVE NEW PAINT FINISH, U.N.O. ON TENANT SIDE ONLY. DO NOT PAINT TEKNION ALTOS WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
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14. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS, AND WORKMANSHIP.
16. GC TO SUBMIT TO THE ARCHITECT SAMPLE SUBMITTALS FOR REVIEW FOR ALL FINISHES PRIOR TO SUPPLY/INSTALL. FAILURE TO DO SO WILL RESULT IN REVISIONS TO INCORRECT WORK AT GC EXPENSE INCLUDING ALL TIME, MATERIAL, AND LABOUR TO CORRECT THE ISSUE.
17. ALTERNATIVE MATERIAL WILL NOT BE CONSIDERED WHERE THE GC FAILED TO PROVIDE SUBMITTALS AND ORDER MATERIALS IN A TIMELY MATTER.
18. WHERE EXISTING JUNCTION BOXES ARE BEING REMOVED, PATCH, PRIME, AND PAINT WALLS TO MATCH.
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WALL FINISH PLAN KEYNOTES

W1 COLUMNS TO BE PAINTED TO MATCH ADJACENT EXISTING WHITE PAINT, DATUM LINE TO ALIGN WITH THE EXISTING BULKHEAD AT THE ENTRANCE TO THE WASHROOM AND COMMITTEE ROOM B - CONFIRM EXACT HEIGHT WITH OWNER AND DESIGNER PRIOR TO PAINTING.

W2 FINISHES IN AMENITIES STORAGE TO REMAIN AS IS.

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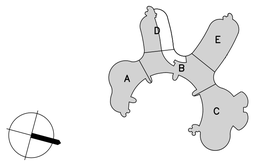
KEY PLAN



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EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

WALL FINISHES PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. ID4.13

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORK\ADMIN\7 - SOFTWARE\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID4.13_WALL FINISHES PLAN_FLOOR 2.DWG

5/22/2026 10:55 AM

1 ID4.14 WALL FINISHES PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

WALL FINISH PLAN LEGEND

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	INDICATES MILLWORK
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WALL FINISH PLAN KEYNOTES

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W2 FINISHES IN AMENITIES STORAGE TO REMAIN AS IS.

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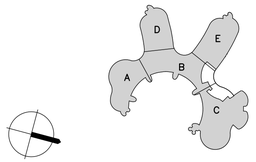
KEY PLAN



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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

WALL FINISHES PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.14**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID4.14_WALL FINISHES PLAN_FLOOR 2.DWG

5/22/2026 10:58 AM

1 ID4.15 WALL FINISHES PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

WALL FINISH PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
FINISH	INDICATES WALL FINISH AND EXTENT. REFER TO FINISH SCHEDULE ON ID0.06

WALL FINISH SHEET NOTES

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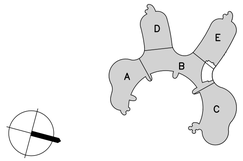
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE 6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

WALL FINISHES PLAN 3RD FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID4.15**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID4.15_WALL FINISHES PLAN_FLOOR 3.DWG

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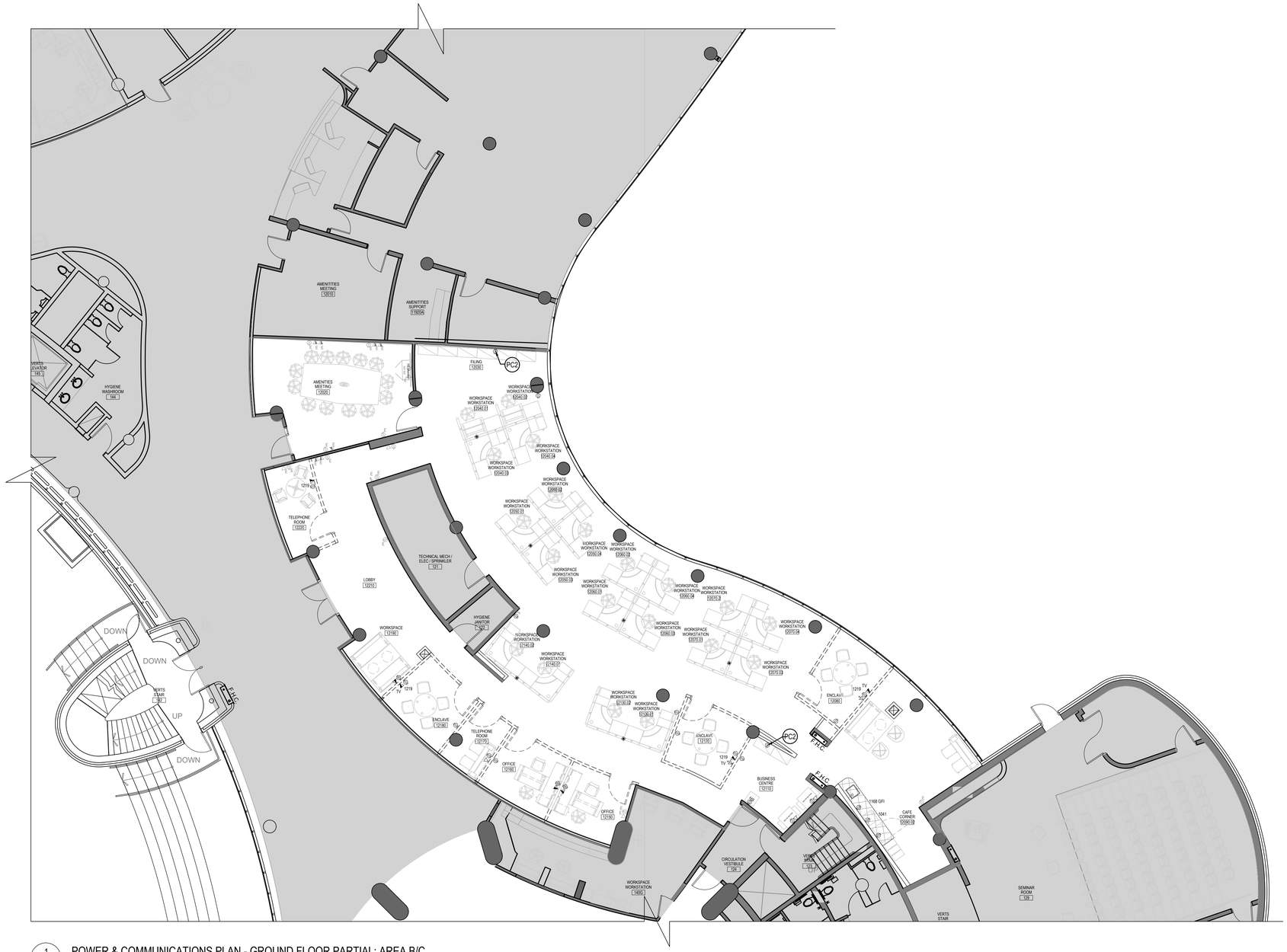

1 ID5.01 POWER & COMMUNICATIONS PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

POWER & COMMUNICATIONS PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
	DUPLEX ELECTRICAL OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	FOUR-PLEX ELECTRICAL OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	DATA OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	VOICE/DATA OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	NEW AV FLOORBOX. REFER TO ENGINEERS DRAWINGS FOR REQUIRED CONNECTIONS.
E	DENOTES EXISTING FIXTURE

P&C PLAN SHEET NOTES

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL CONSULTANTS DRAWINGS. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN THE ENGINEERS AND DESIGNERS DRAWINGS PRIOR TO COMMENCING ELECTRICAL WORK.
2. IF DESCREPENICIES EXIST BETWEEN ELECTRICAL AND ARCHITECTURAL DRAWINGS, REFER TO DESIGNER FOR LOCATIONS AND HEIGHTS. REFER TO ELEVATION DRAWINGS FOR OUTLET LOCATIONS.
3. CONFIRM EXACT OUTLET LOCATIONS WITH TENANT/DESIGNER PRIOR TO ROUGH-IN.
4. ALL NEW OUTLETS ON OPPOSITE SIDES OF PARTITIONS TO BE SEPARATED BY ONE STUD SPACE TO RETAIN SOUND RATING, PACK AROUND OUTLET WITH BATT INSULATION. CAULK AROUND OUTLET TO PREVENT SOUND FLANKING.
5. WHERE OUTLETS/SWITCHES ARE NOTED IN PROXIMITY, USE MULTI-GANG BOX AND COMBINATION FACE PLATE.
6. NUMBER BESIDE SYMBOL ON DRAWING INDICATES HEIGHT ABOVE FINISHED FLOOR (MM AFF).
7. PROVIDE TEMPORARY LIGHT AND POWER REQUIRED TO PROPERLY COMPLETE THE WORK OUTLINED IN THE DRAWINGS.
8. PROVIDE NEW MATCHING BLANK COVER PLATES ON ALL UNUSED OUTLETS.
9. CONTRACTOR SHALL CONFIRM COMPUTER REQUIREMENTS WITH TENANT.
10. WIRING TO ORIGINATE FROM TELECOMMUNICATIONS CLOSET AND TERMINATED ON A RACK MOUNTED PATCH PANEL, RACK SHALL BE STANDARD WIDTH TO SUPPORT ADDITION OF NEW HUBS IN THE FUTURE. TERMINATION IN THE FIELD TO DATA/VOICE OUTLET.
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15. EXISTING OUTLETS TO BE UPGRADE TO 6A WHERE POSSIBLE. COORDINATE WITH ELECTRICAL CONSULTANT DRAWINGS.
16. TV HEIGHTS TO BE CONFIRMED BY OWNER PRIOR TO BACKING BEING INSTALLED
17. ALL FURNITURE BY OWNER.

POWER & COMMUNICATIONS PLAN KEYNOTES

PC1 4 DUPLEX STACKED ON COLUMN. RELOCATE ELECTRICAL CIRCUITS. STAGE LIGHT FIXTURES TO BE MOUNTED TO SCHEDULE-40 PIPE. MATCH HIGHEST OUTLET TO HEIGHT OF EXISTING STAGE LIGHTING, INDICATED ON 2/ID5.02. REFER TO 3/ID5.02 FOR ELEVATION AND AV DRAWINGS FOR DETAILS.

PC2 COORDINATE HEIGHT WITH FURNITURE DEALER. OUTLET TO BE MOUNTED 305MM O/C FROM TOP OF FURNITURE.

PC3 CAMERA PROVISION: 2-GANGED MUDRING REFER TO AV ENGINEER DRAWINGS.

PC4 SPEAKER PROVISION: REFER TO AV ENGINEER DRAWINGS.

PC5 CAMERA PROVISION: 2-GANGED DUPLEX AND DATA TO BE SURFACE MOUNTED TO THE TOP OF SECURITY DESK. REFER TO AV ENGINEER DRAWINGS.

PC6 EXISTING POWER TO REMAIN

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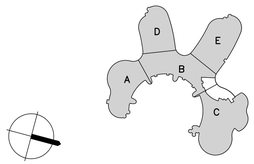

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ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

POWER & COMMS.PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID5.01

REVISION NO.

6

T:\PROJECTS\2025\B25-50003_YORK\ADMIN\7-SOFTWARE\7-03 AUTO CAD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID5.01_POWER&COMMS_FLOOR 1.DWG

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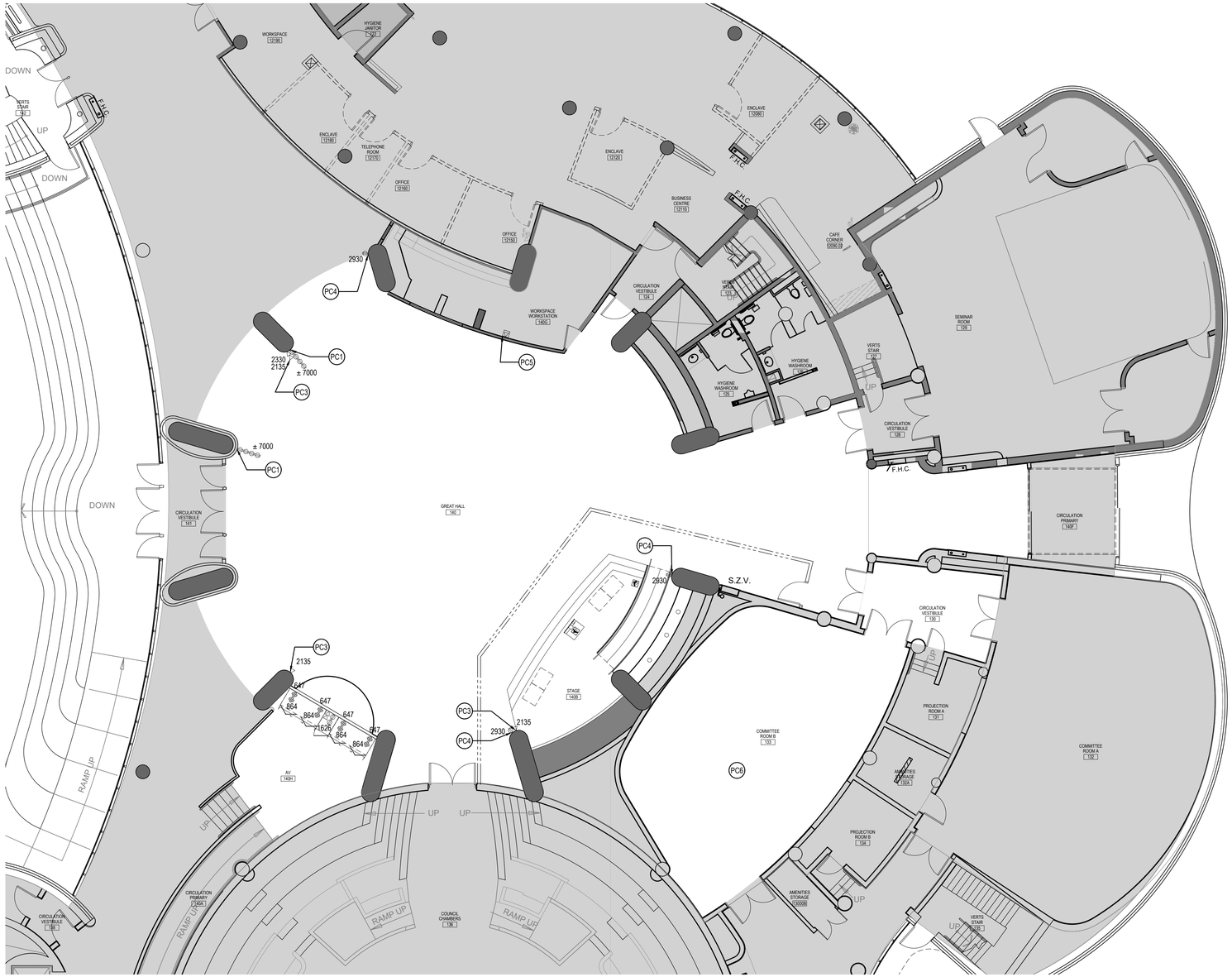
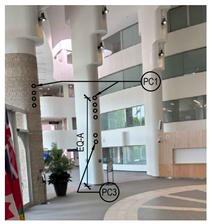


1 ID5.02 POWER & COMMUNICATIONS PLAN - GROUND FLOOR PARTIAL: AREA C

SCALE: 1:100

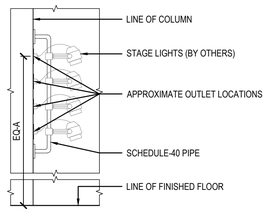


2 ID5.02 STAGE LIGHTING PHOTO NEW LOCATION

SCALE: N.T.S.

3 ID5.02 STAGE LIGHTING PHOTO EXISTING LOCATION

SCALE: N.T.S.



4 ID5.02 NEW STAGE LIGHT HEIGHTS

SCALE: N.T.S.

POWER & COMMUNICATIONS PLAN LEGEND

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	INDICATES MILLWORK
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E	DENOTES EXISTING FIXTURE

P&C PLAN SHEET NOTES

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5. WHERE OUTLETS/SWITCHES ARE NOTED IN PROXIMITY, USE MULTI-GANG BOX AND COMBINATION FACE PLATE.
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17. ALL FURNITURE BY OWNER.

POWER & COMMUNICATIONS PLAN KEYNOTES

PC1 4 DUPLEX STACKED ON COLUMN. RELOCATE ELECTRICAL CIRCUITS. STAGE LIGHT FIXTURES TO BE MOUNTED TO SCHEDULE-40 PIPE. MATCH HIGHEST OUTLET TO HEIGHT OF EXISTING STAGE LIGHTING, INDICATED ON 2/ID5.02. REFER TO 3/ID5.02 FOR ELEVATION AND AV DRAWINGS FOR DETAILS.

PC2 COORDINATE HEIGHT WITH FURNITURE DEALER. OUTLET TO BE MOUNTED 305MM O/C FROM TOP OF FURNITURE.

PC3 CAMERA PROVISION: 2-GANGED MUDRING REFER TO AV ENGINEER DRAWINGS.

PC4 SPEAKER PROVISION: REFER TO AV ENGINEER DRAWINGS.

PC5 CAMERA PROVISION: 2-GANGED DUPLEX AND DATA TO BE SURFACE MOUNTED TO THE TOP OF SECURITY DESK. REFER TO AV ENGINEER DRAWINGS.

PC6 EXISTING POWER TO REMAIN

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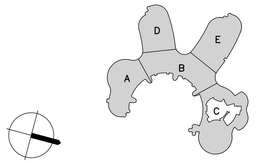
KEY PLAN



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2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

POWER & COMMS. PLAN GROUND FLOOR PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID5.02**

REVISION NO. 6

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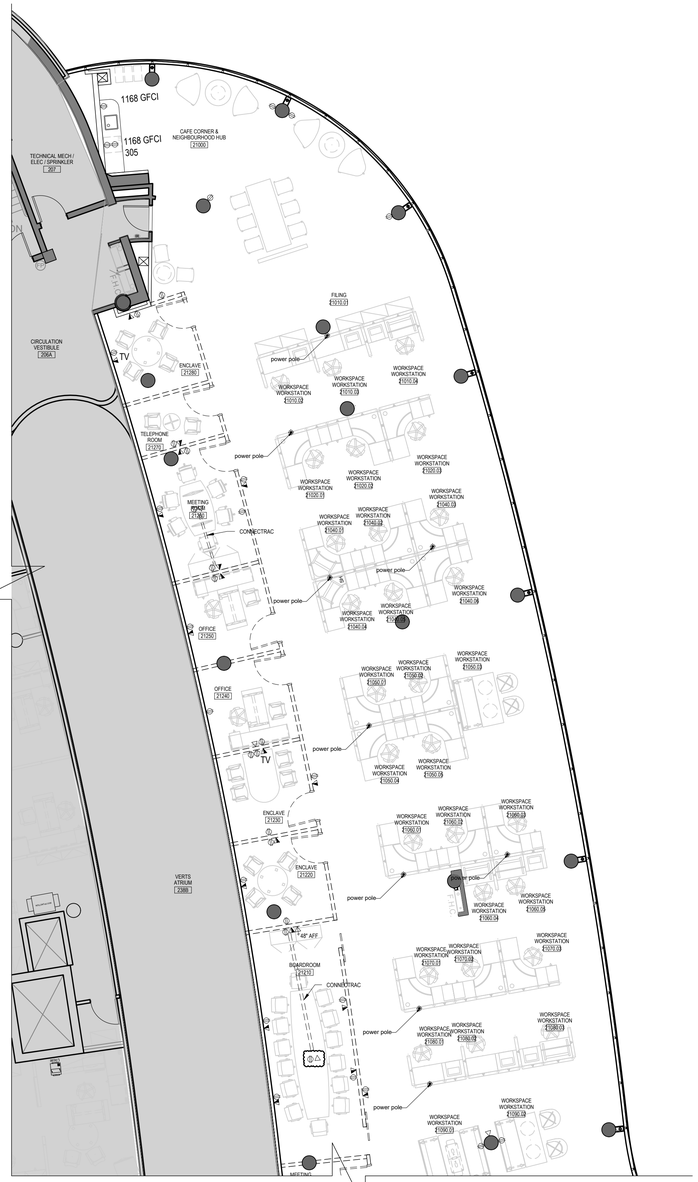
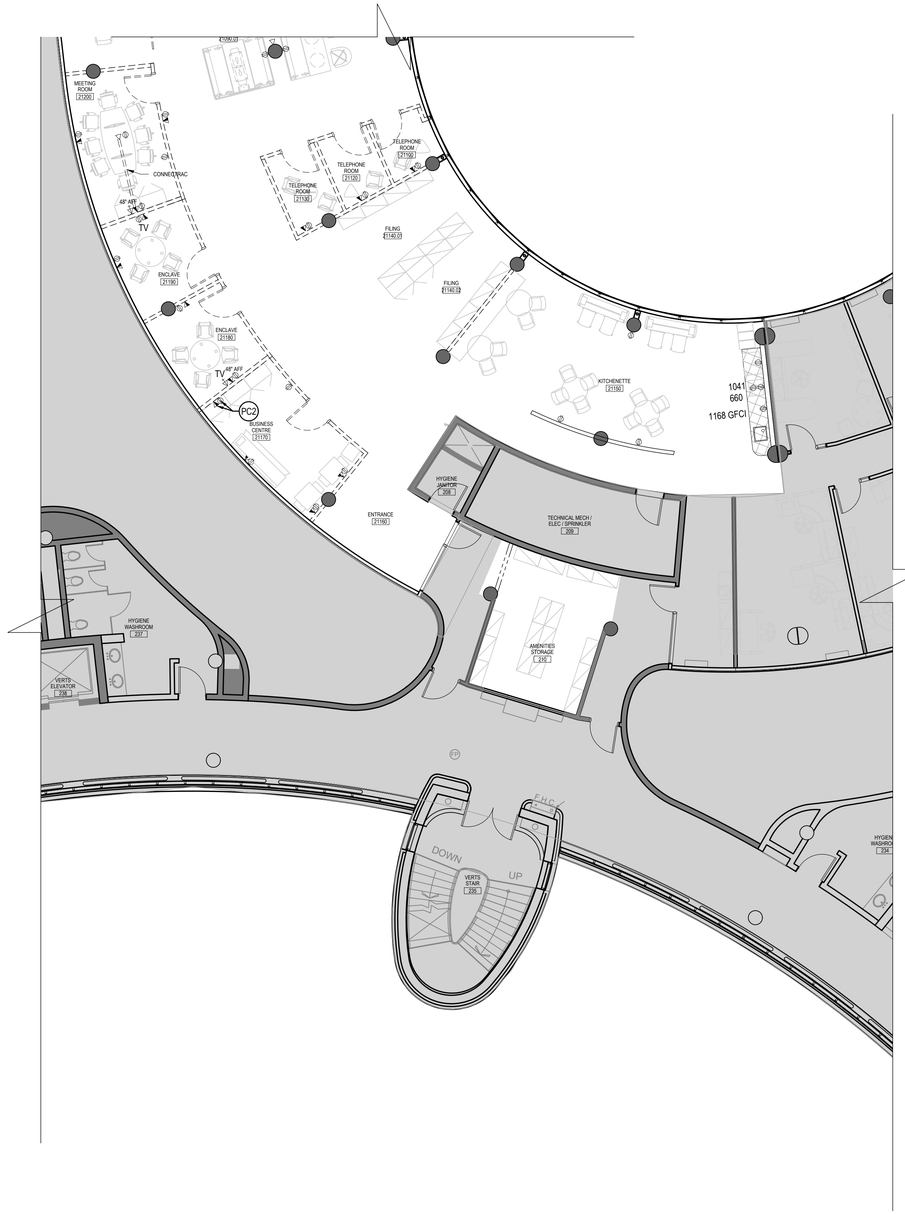


1 ID5.03 POWER & COMMUNICATIONS PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID5.03 POWER & COMMUNICATIONS PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

POWER & COMMUNICATIONS PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
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	FOUR-PLEX ELECTRICAL OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	DATA OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
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	NEW AV FLOORBOX. REFER TO ENGINEERS DRAWINGS FOR REQUIRED CONNECTIONS.
E	DENOTES EXISTING FIXTURE

P&C PLAN SHEET NOTES

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5. WHERE OUTLETS/SWITCHES ARE NOTED IN PROXIMITY, USE MULTI-GANG BOX AND COMBINATION FACE PLATE.
6. NUMBER BESIDE SYMBOL ON DRAWING INDICATES HEIGHT ABOVE FINISHED FLOOR (MM AFF).
7. PROVIDE TEMPORARY LIGHT AND POWER REQUIRED TO PROPERLY COMPLETE THE WORK OUTLINED IN THE DRAWINGS.
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16. TV HEIGHTS TO BE CONFIRMED BY OWNER PRIOR TO BACKING BEING INSTALLED
17. ALL FURNITURE BY OWNER.

POWER & COMMUNICATIONS PLAN KEYNOTES

PC1 4 DUPLEX STACKED ON COLUMN. RELOCATE ELECTRICAL CIRCUITS. STAGE LIGHT FIXTURES TO BE MOUNTED TO SCHEDULE-40 PIPE. MATCH HIGHEST OUTLET TO HEIGHT OF EXISTING STAGE LIGHTING, INDICATED ON 2/ID5.02. REFER TO 3/ID5.02 FOR ELEVATION AND AV DRAWINGS FOR DETAILS.

PC2 COORDINATE HEIGHT WITH FURNITURE DEALER. OUTLET TO BE MOUNTED 305MM O/C FROM TOP OF FURNITURE.

PC3 CAMERA PROVISION: 2-GANGED MUDRING REFER TO AV ENGINEER DRAWINGS.

PC4 SPEAKER PROVISION: REFER TO AV ENGINEER DRAWINGS.

PC5 CAMERA PROVISION: 2-GANGED DUPLEX AND DATA TO BE SURFACE MOUNTED TO THE TOP OF SECURITY DESK. REFER TO AV ENGINEER DRAWINGS.

PC6 EXISTING POWER TO REMAIN

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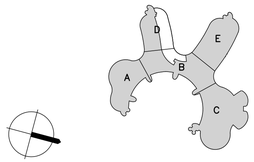

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LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

POWER & COMMS. PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID5.03**

REVISION NO. 6

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5/22/2026 10:58 AM

1 ID5.04 POWER & COMMUNICATIONS PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

POWER & COMMUNICATIONS PLAN LEGEND

	AREA NOT IN CONTRACT
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PC2 COORDINATE HEIGHT WITH FURNITURE DEALER. OUTLET TO BE MOUNTED 305MM O/C FROM TOP OF FURNITURE.

PC3 CAMERA PROVISION: 2-GANGED MUDRING REFER TO AV ENGINEER DRAWINGS.

PC4 SPEAKER PROVISION: REFER TO AV ENGINEER DRAWINGS.

PC5 CAMERA PROVISION: 2-GANGED DUPLEX AND DATA TO BE SURFACE MOUNTED TO THE TOP OF SECURITY DESK. REFER TO AV ENGINEER DRAWINGS.

PC6 EXISTING POWER TO REMAIN

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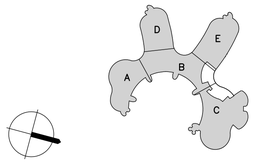
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
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4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

POWER & COMMS. PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID5.04**

REVISION NO. 6

T:\PROJECTS\2025\B25-50003_YORKADMIN\7 - SOFTWARE\7-03 AUTO CADD\DRAWINGS\ID_25-50-0003_YORK ADMIN_ID5.04_POWER&COMMS_FLOOR 2.DWG

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1 ID5.05 POWER & COMMUNICATIONS PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

POWER & COMMUNICATIONS PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
	DUPLEX ELECTRICAL OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	FOUR-PLEX ELECTRICAL OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	DATA OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	VOICE/DATA OUTLET @ 12" (305mm) AFF UNLESS OTHERWISE NOTED.
	NEW AV FLOORBOX. REFER TO ENGINEERS DRAWINGS FOR REQUIRED CONNECTIONS.
E	DENOTES EXISTING FIXTURE

P&C PLAN SHEET NOTES

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ELECTRICAL CONSULTANTS DRAWINGS. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN THE ENGINEERS AND DESIGNERS DRAWINGS PRIOR TO COMMENCING ELECTRICAL WORK.
2. IF DESCREPENICIES EXIST BETWEEN ELECTRICAL AND ARCHITECTURAL DRAWINGS, REFER TO DESIGNER FOR LOCATIONS AND HEIGHTS. REFER TO ELEVATION DRAWINGS FOR OUTLET LOCATIONS.
3. CONFIRM EXACT OUTLET LOCATIONS WITH TENANT/DESIGNER PRIOR TO ROUGH-IN.
4. ALL NEW OUTLETS ON OPPOSITE SIDES OF PARTITIONS TO BE SEPARATED BY ONE STUD SPACE TO RETAIN SOUND RATING. PACK AROUND OUTLET WITH BATT INSULATION. CAULK AROUND OUTLET TO PREVENT SOUND FLANKING.
5. WHERE OUTLETS/SWITCHES ARE NOTED IN PROXIMITY, USE MULTI-GANG BOX AND COMBINATION FACE PLATE.
6. NUMBER BESIDE SYMBOL ON DRAWING INDICATES HEIGHT ABOVE FINISHED FLOOR (MM AFF).
7. PROVIDE TEMPORARY LIGHT AND POWER REQUIRED TO PROPERLY COMPLETE THE WORK OUTLINED IN THE DRAWINGS.
8. PROVIDE NEW MATCHING BLANK COVER PLATES ON ALL UNUSED OUTLETS.
9. CONTRACTOR SHALL CONFIRM COMPUTER REQUIREMENTS WITH TENANT.
10. WIRING TO ORIGINATE FROM TELECOMMUNICATIONS CLOSET AND TERMINATED ON A RACK MOUNTED PATCH PANEL, RACK SHALL BE STANDARD WIDTH TO SUPPORT ADDITION OF NEW HUBS IN THE FUTURE. TERMINATION IN THE FIELD TO DATA/VOICE OUTLET.
11. CABLING TO BE INSTALLED AND SUPERVISED BY AN AUTHORIZED CONTRACTOR OR CERTIFIED SYSTEMS VENDOR.
12. ALL CEILING PATHWAYS SHOULD CONFORM TO COMMERCIAL BUILDING STANDARDS.
13. ALL CABLES TO BE LABELED (BOTH ENDS) ALONG WITH THE OUTLETS AND PATCH PANELS.
14. ON COMPLETION OF THE PROJECT SUPPLY AN AS BUILT DRAWING SHOWING CABLE PATHWAYS AND TERMINATION POINTS. DRAWINGS TO BE PLACED IN THE TELECOMMUNICATION CLOSET.
15. EXISTING OUTLETS TO BE UPGRADE TO 6A WHERE POSSIBLE. COORDINATE WITH ELECTRICAL CONSULTANT DRAWINGS.
16. TV HEIGHTS TO BE CONFIRMED BY OWNER PRIOR TO BACKING BEING INSTALLED
17. ALL FURNITURE BY OWNER.

POWER & COMMUNICATIONS PLAN KEYNOTES

PC1 4 DUPLEX STACKED ON COLUMN. RELOCATE ELECTRICAL CIRCUITS. STAGE LIGHT FIXTURES TO BE MOUNTED TO SCHEDULE-40 PIPE. MATCH HIGHEST OUTLET TO HEIGHT OF EXISTING STAGE LIGHTING, INDICATED ON 2/ID5.02. REFER TO 3/ID5.02 FOR ELEVATION AND AV DRAWINGS FOR DETAILS.

PC2 COORDINATE HEIGHT WITH FURNITURE DEALER. OUTLET TO BE MOUNTED 305MM O/C FROM TOP OF FURNITURE.

PC3 CAMERA PROVISION: 2-GANGED MUDRING REFER TO AV ENGINEER DRAWINGS.

PC4 SPEAKER PROVISION: REFER TO AV ENGINEER DRAWINGS.

PC5 CAMERA PROVISION: 2-GANGED DUPLEX AND DATA TO BE SURFACE MOUNTED TO THE TOP OF SECURITY DESK. REFER TO AV ENGINEER DRAWINGS.

PC6 EXISTING POWER TO REMAIN

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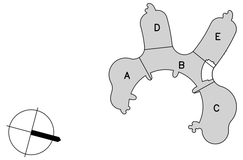

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REVISION NO. 6

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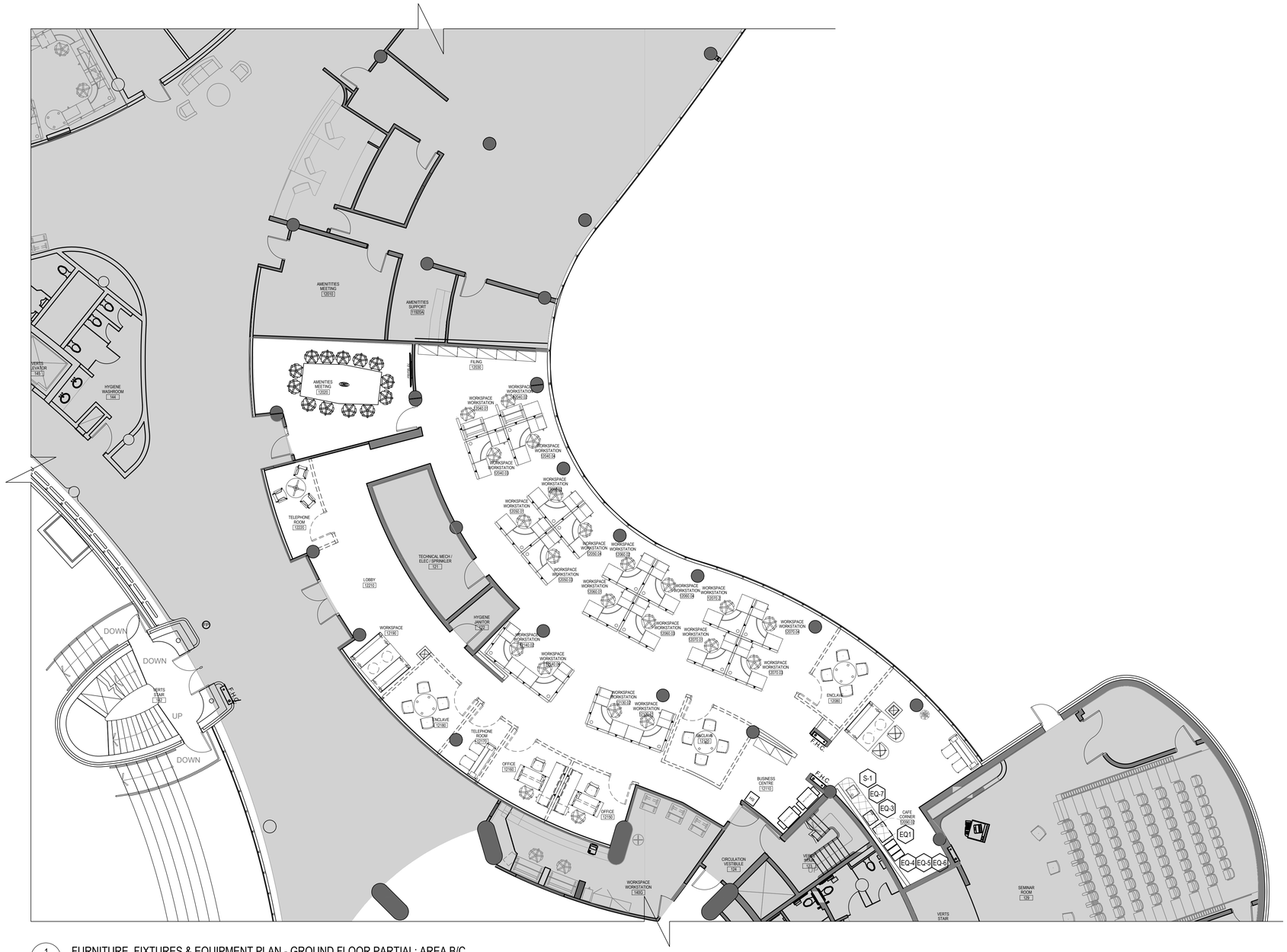

1 ID6.01 FURNITURE, FIXTURES & EQUIPMENT PLAN - GROUND FLOOR PARTIAL: AREA B/C

SCALE: 1:100

FURNITURE, FIXTURES & EQUIPMENT PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
EQx	INDICATES NEW SPECIALTY EQUIPMENT AND APPLIANCES. REFER TO FIXTURES & EQUIPMENT SCHEDULE ON ID0.07

FF&E PLAN SHEET NOTES

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2. ALL FURNITURE, FIXTURES, AND EQUIPMENT (INCLUDING SIGNAGE) ARE N.I.C. U.N.O. REFER TO WALL FINISH PLAN FOR VINYL FILM REQUIREMENTS.
3. PROVIDE ADEQUATE BLOCKING/BACKING FOR ALL WALL AND CEILING HUNG FIXTURES AND EQUIPMENT. GC TO ENGAGE STRUCTURAL ENGINEER AS REQUIRED FOR SUPPORT OF ITEMS OVER 60lbs.
4. CEILING BLOCKING TO BE NON-COMBUSTIBLE OR FIRE RATED.
5. ALL LOCATIONS OF FLOOR AND WALL MOUNTED EQUIPMENT TO BE MARKED OUT ON SITE AND CONFIRMED WITH CLIENT AND DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE ELECTRICAL/DATA INSTALLATIONS WITH THE FURNITURE SUPPLIER.
7. SUPPLY AND INSTALL OF ALL A/V EQUIPMENT IS BY A/V VENDOR (N.I.C.). PROVIDE ALL ELECTRICAL/DATA AND BLANK CONDUIT REQUIRED FOR A/V ITEMS AS INSTRUCTED BY ELECTRICAL ENGINEER DRAWINGS AND SPECIFICATIONS.
8. ALL WALLS TO BE PAINTED/FINISHED PRIOR TO INSTALLATION OF ANY WALL MOUNTED EQUIPMENT, GLASSBOARDS, TACKBOARDS, ETC.
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FURNITURE, FIXTURES & EQUIPMENT PLAN KEYNOTES

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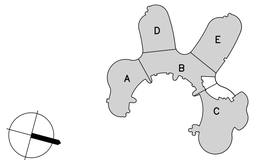

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PROJECT ADDRESS

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TITLE

FURNITURE, FIXTURES & EQUIPMENT PLAN GROUND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID6.01**

REVISION NO. 6

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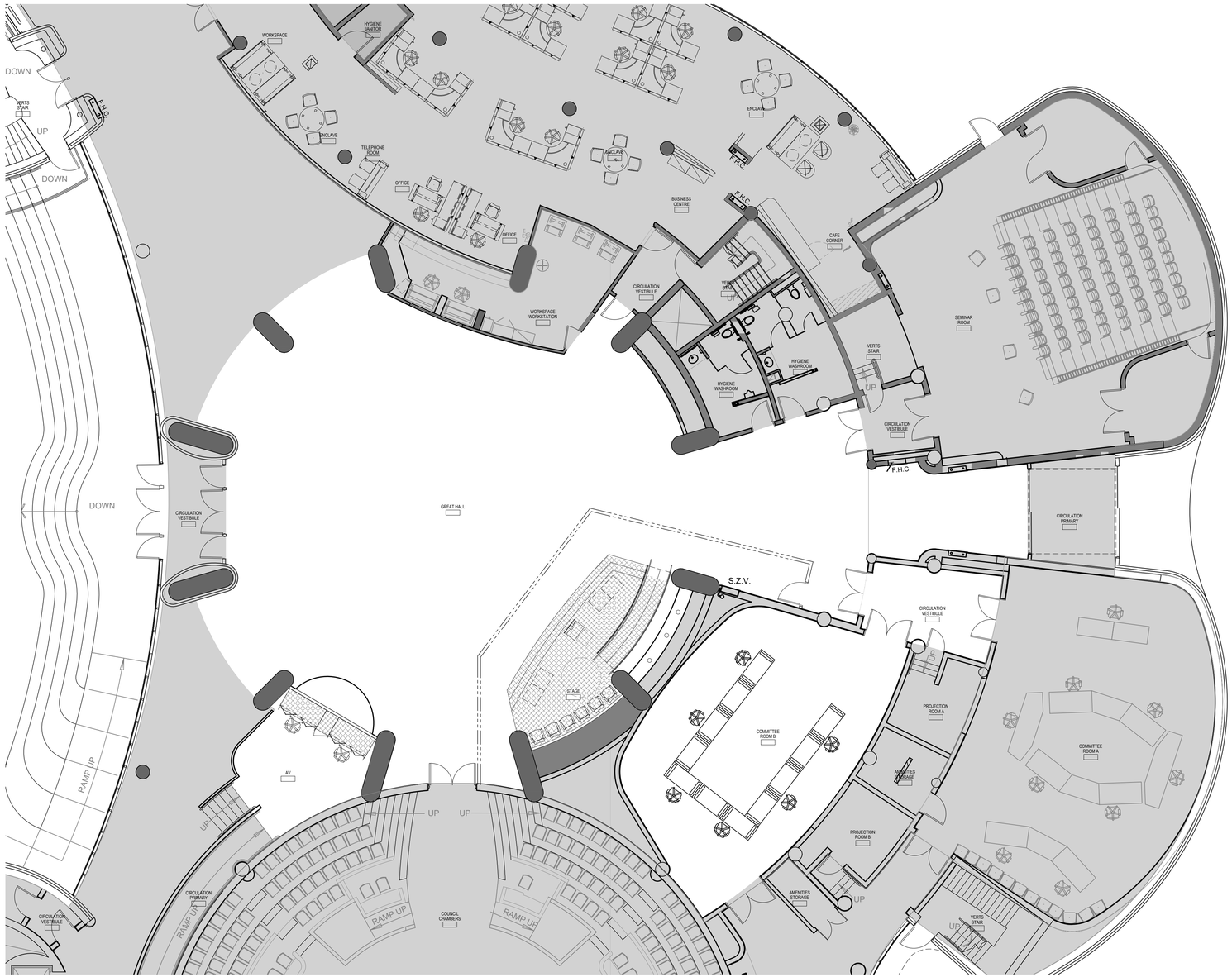

1 ID6.02 FURNITURE, FIXTURES & EQUIPMENT PLAN - GROUND FLOOR PARTIAL: AREA C

SCALE: 1:100

FURNITURE, FIXTURES & EQUIPMENT PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
EQx	INDICATES NEW SPECIALTY EQUIPMENT AND APPLIANCES. REFER TO FIXTURES & EQUIPMENT SCHEDULE ON ID0.07

FF&E PLAN SHEET NOTES

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FURNITURE, FIXTURES & EQUIPMENT PLAN KEYNOTES

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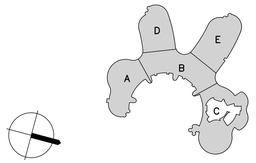

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DRAWING NO. **ID6.02**

REVISION NO. 6

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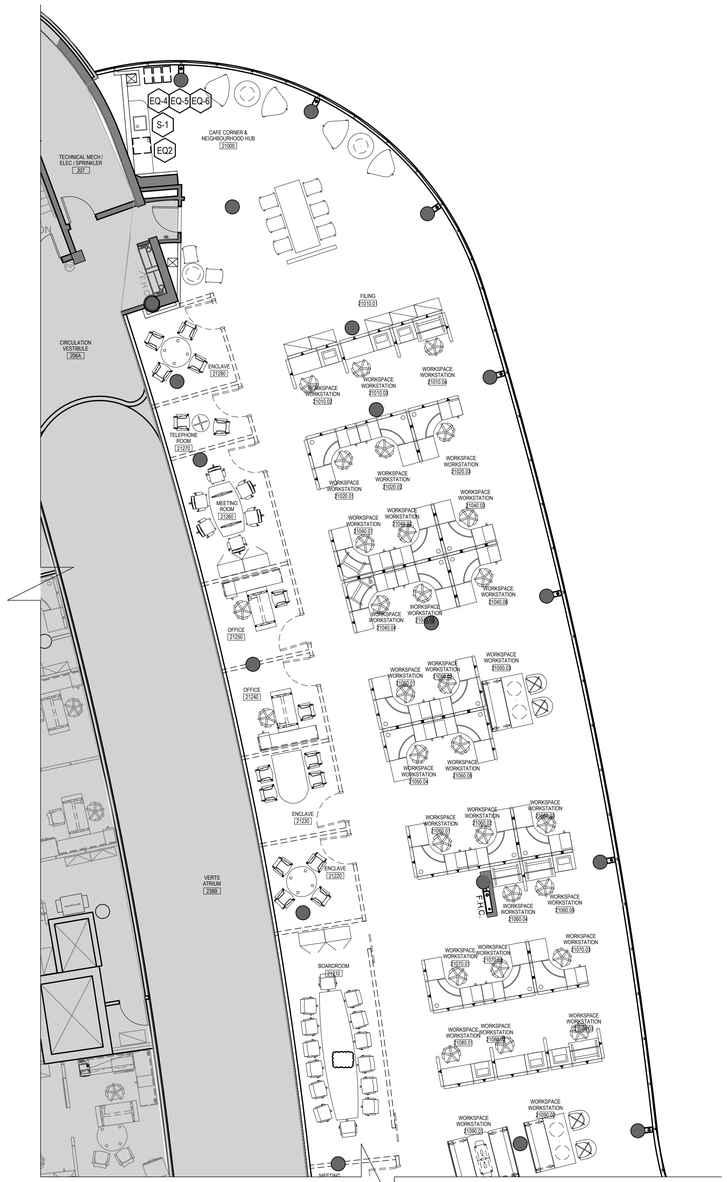
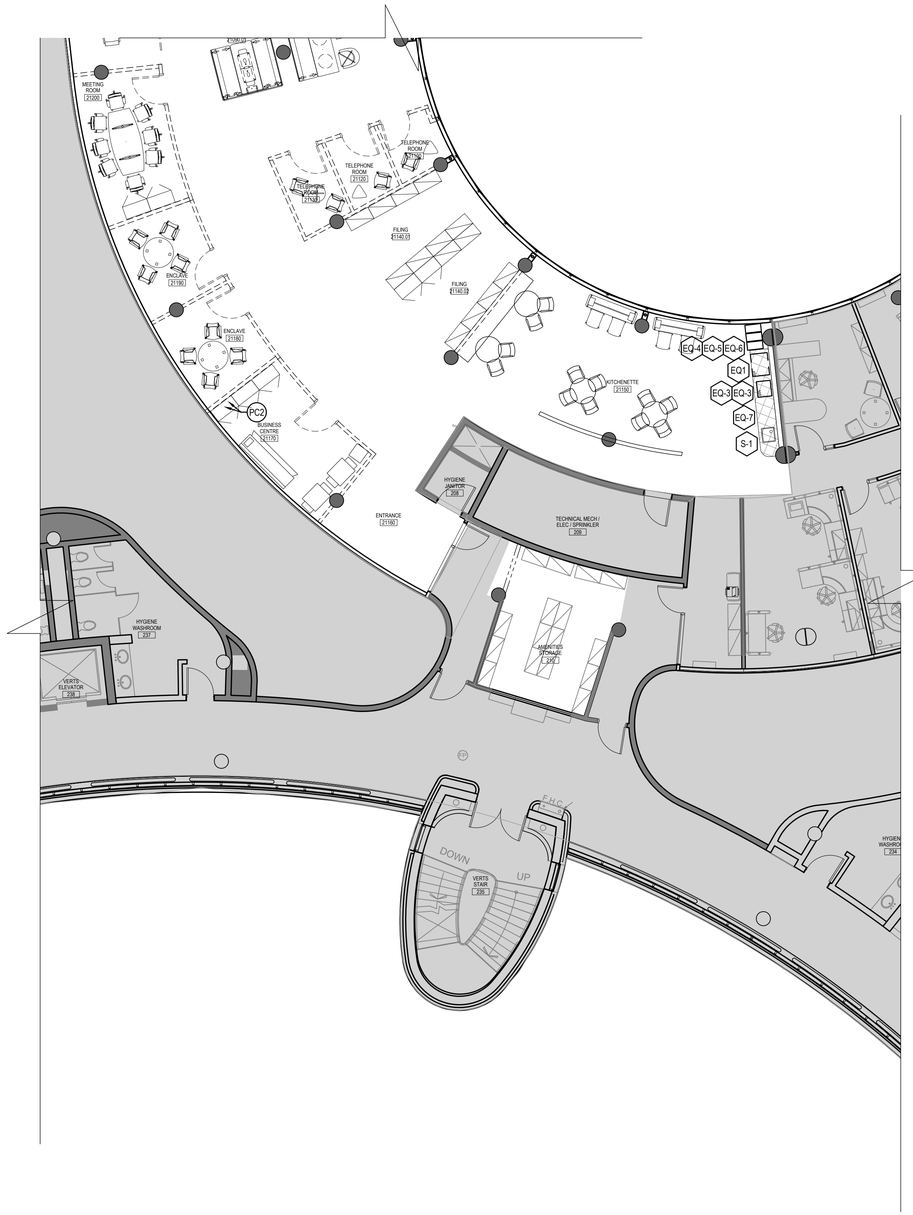


1 ID6.03 FURNITURE, FIXTURES & EQUIPMENT PLAN - 2ND FLOOR PARTIAL: AREA D

SCALE: 1:100



2 ID6.03 FURNITURE, FIXTURES & EQUIPMENT PLAN - 2ND FLOOR PARTIAL: AREA B

SCALE: 1:100

FURNITURE, FIXTURES & EQUIPMENT PLAN LEGEND

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EQx	INDICATES NEW SPECIALTY EQUIPMENT AND APPLIANCES. REFER TO FIXTURES & EQUIPMENT SCHEDULE ON ID0.07

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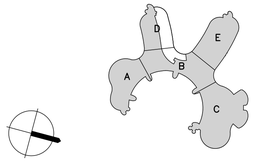

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DRAWING NO.

ID6.03

REVISION NO.

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1 ID6.04 FURNITURE, FIXTURES & EQUIPMENT PLAN - 2ND FLOOR PARTIAL: AREA B/C/E

SCALE: 1:100

FURNITURE, FIXTURES & EQUIPMENT PLAN LEGEND

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FURNITURE, FIXTURES & EQUIPMENT PLAN KEYNOTES

E1 SPECIFIC POWER AND COMMUNICATION REQUIREMENTS ARE REQURIED FOR PW TECH SPACE 22090. REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR COORDINATION.

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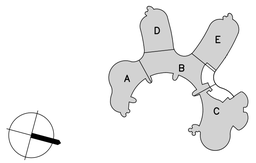
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
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1	60% REVIEW	2025/06/19

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
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6740

PROJECT

YORK REGION
MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FURNITURE, FIXTURES & EQUIPMENT PLAN 2ND FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO.

ID6.04

REVISION NO.

6

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1 ID6.05 FURNITURE, FIXTURES & EQUIPMENT PLAN - 3RD FLOOR PARTIAL: AREA B/E

SCALE: 1:100

FURNITURE, FIXTURES & EQUIPMENT PLAN LEGEND

	AREA NOT IN CONTRACT
	INDICATES MILLWORK
EQx	INDICATES NEW SPECIALTY EQUIPMENT AND APPLIANCES. REFER TO FIXTURES & EQUIPMENT SCHEDULE ON ID0.07

FF&E PLAN SHEET NOTES

1. REFER TO GENERAL NOTES ON ID0.01 AND ID0.02 AND SPEC BOOK PROVIDED. TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
2. ALL FURNITURE, FIXTURES, AND EQUIPMENT (INCLUDING SIGNAGE) ARE N.I.C. U.N.O. REFER TO WALL FINISH PLAN FOR VINYL FILM REQUIREMENTS.
3. PROVIDE ADEQUATE BLOCKING/BACKING FOR ALL WALL AND CEILING HUNG FIXTURES AND EQUIPMENT. GC TO ENGAGE STRUCTURAL ENGINEER AS REQUIRED FOR SUPPORT OF ITEMS OVER 60lbs.
4. CEILING BLOCKING TO BE NON-COMBUSTIBLE OR FIRE RATED.
5. ALL LOCATIONS OF FLOOR AND WALL MOUNTED EQUIPMENT TO BE MARKED OUT ON SITE AND CONFIRMED WITH CLIENT AND DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE ELECTRICAL/DATA INSTALLATIONS WITH THE FURNITURE SUPPLIER.
7. SUPPLY AND INSTALL OF ALL A/V EQUIPMENT IS BY A/V VENDOR (N.I.C.). PROVIDE ALL ELECTRICAL/DATA AND BLANK CONDUIT REQUIRED FOR A/V ITEMS AS INSTRUCTED BY ELECTRICAL ENGINEER DRAWINGS AND SPECIFICATIONS.
8. ALL WALLS TO BE PAINTED/FINISHED PRIOR TO INSTALLATION OF ANY WALL MOUNTED EQUIPMENT, GLASSBOARDS, TACKBOARDS, ETC.
9. GC TO ACCOUNT FOR A 20-DAY WORK SUSPENSION PERIOD FOR THE INSTALLATION OF FURNITURE BY TEKNION FURNITURE INSTALLER. ONCE FURNITURE HAS BEEN INSTALLED GC TO REMOBILIZE AND MAKE ALL NECESSARY DATA CONNECTIONS TO SYSTEMS FURNITURE.
10. INSTALLATION OF ELECTRICAL RECEPTACLES LOCATED ON ALTOS WALLS TO BE INSTALLED BY TEKNION INSTALLER AND COORDINATED BY GC. FINAL TERMINATION OF ELECTRICAL AND DATA RECEPTACLES BY GENERAL CONTRACTOR.
11. WHERE ALTOS WALLS ARE INSTALLED, GC TO INSTALL THERMOSTATS ON 12" OF SECTION ON THE LATCH SIDE OF THE DOOR.
12. EXACT LOCATION OF CONNECTRAC FOR MEEING ROOMS TO BE DETERMINED ON SITE WITH PROJECT MANAGER.

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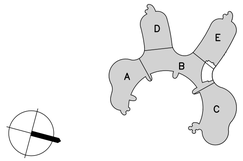
KEY PLAN



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ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD K. CHAN
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

FURNITURE, FIXTURES & EQUIPMENT PLAN 3RD FL PARTIAL

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	JJ

DRAWING NO. **ID6.05**

REVISION NO. 6

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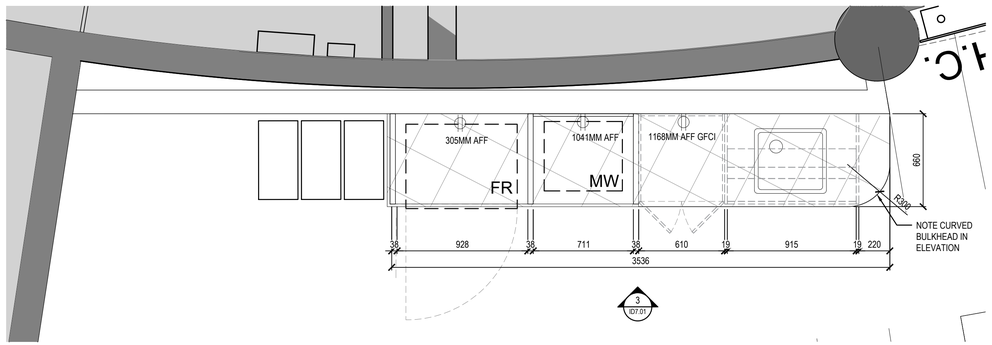
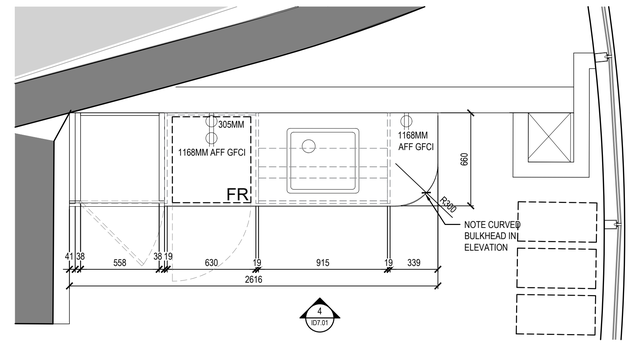


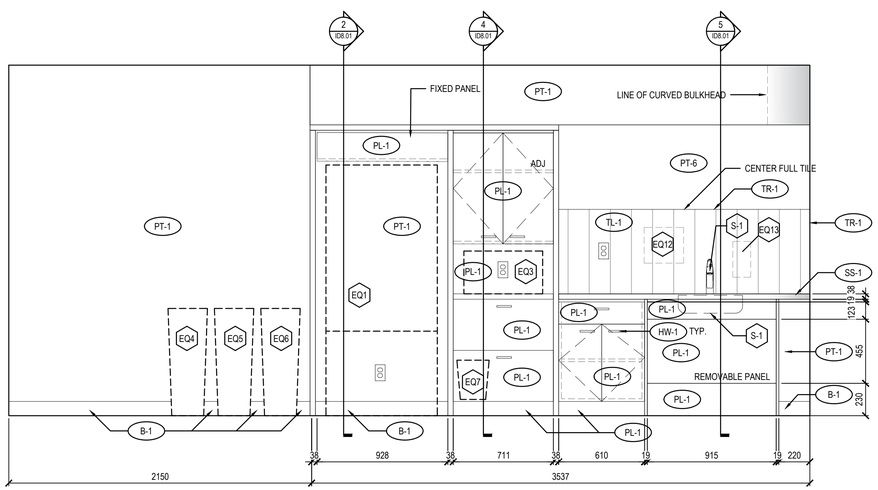
1 ID7.01 MW-1: GROUND FLOOR - CAFE MILLWORK CALLOUT

SCALE: 1:20



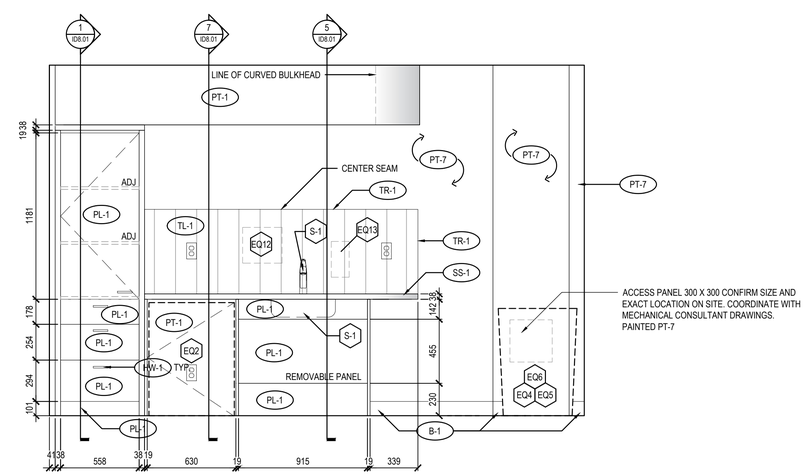
2 ID7.01 MW-5: 2ND FLOOR - NEIGHBOURHOOD HUB MILLWORK CALLOUT

SCALE: 1:20



3 ID7.01 MW-1:GROUND FLOOR - CAFE MILLWORK ELEVATION

SCALE: 1:20



4 ID7.01 MW-5: 2ND FLOOR - NEIGHBOURHOOD HUB MILLWORK ELEVATION

SCALE: 1:20

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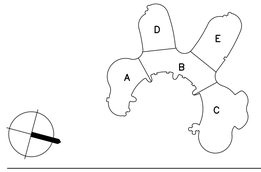

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EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

MILLWORK DETAILS

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO. **ID7.01**

REVISION NO. 6

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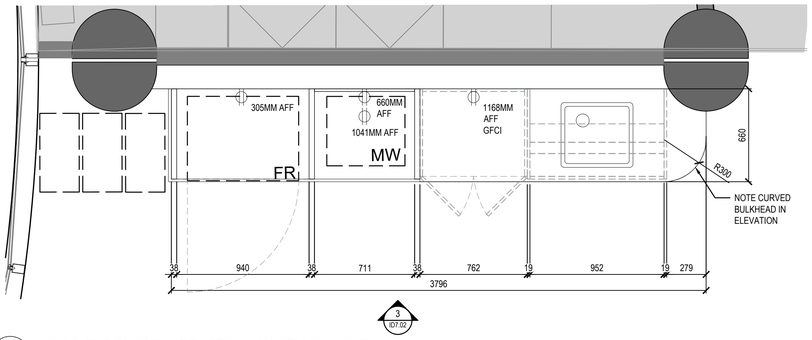

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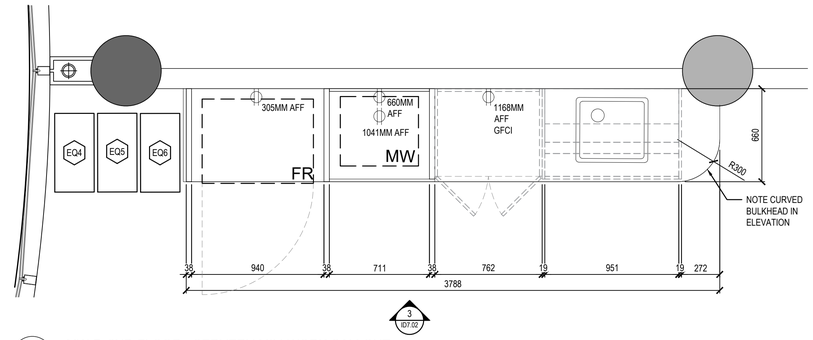

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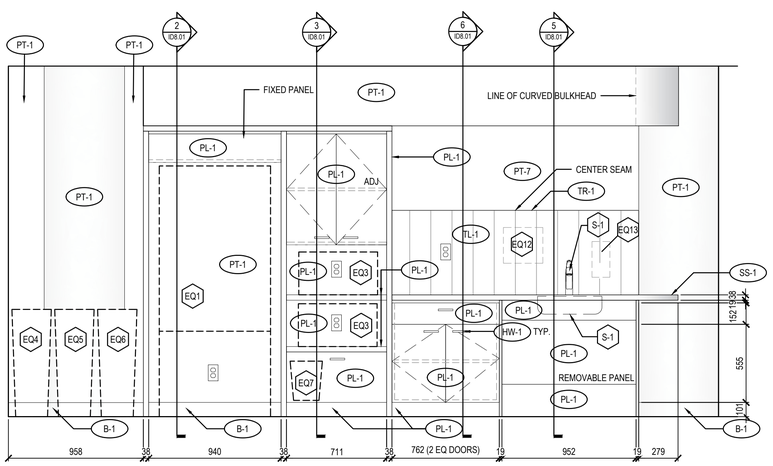
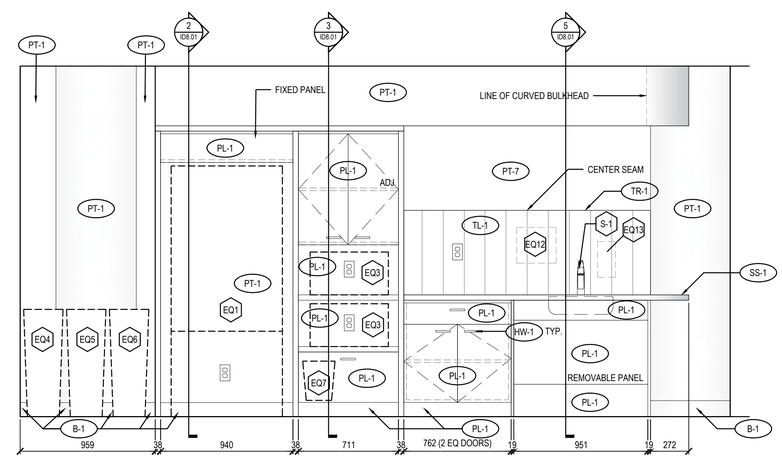


3 ID7.02 MW-6: 2ND FLOOR - SERVERY MILLWORK ELEVATION
SCALE: 1:20



3 ID7.02 MW-7: 2ND FLOOR - SERVERY MILLWORK ELEVATION
SCALE: 1:20

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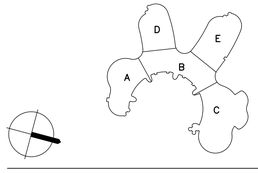

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EDWARD K. CHAN
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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

MILLWORK DETAILS

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID7.02

REVISION NO.

6

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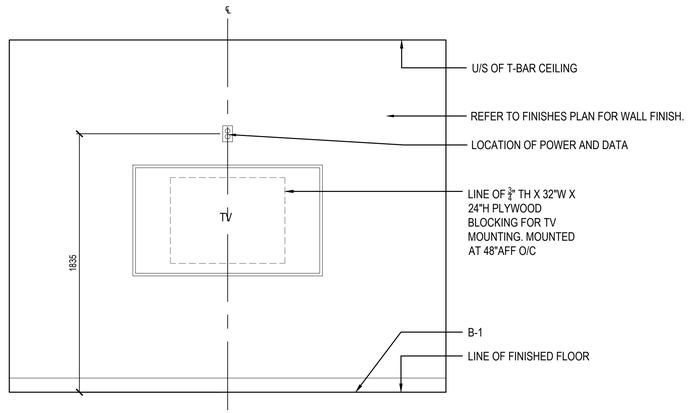

1 / ID7.03 TYP. WALL MOUNTED TV ELEVATION

SCALE: 1:20

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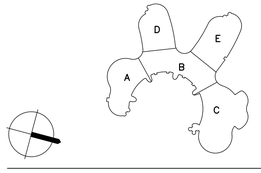

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YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

INTERIOR ELEVATIONS

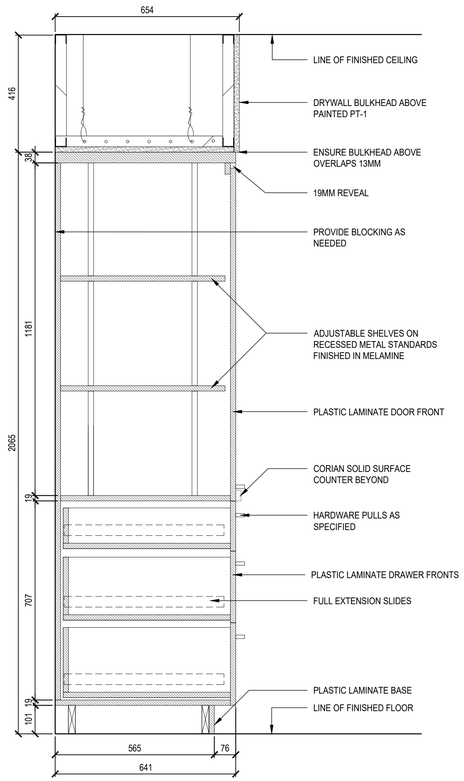
PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID7.03

REVISION NO.

6



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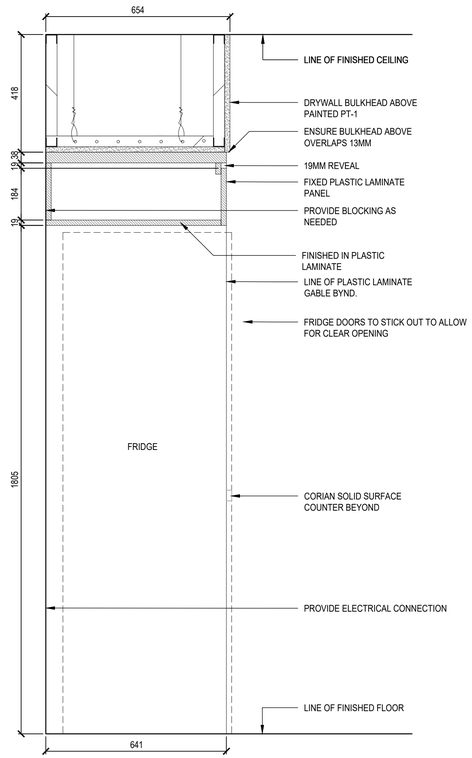
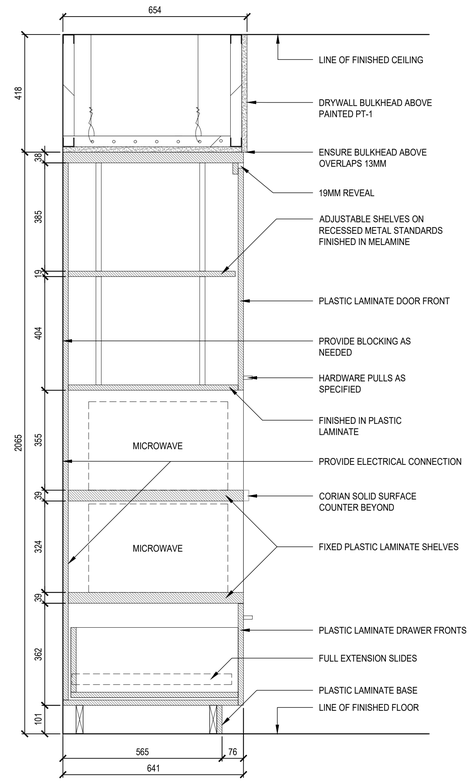
SCALE: 1:10



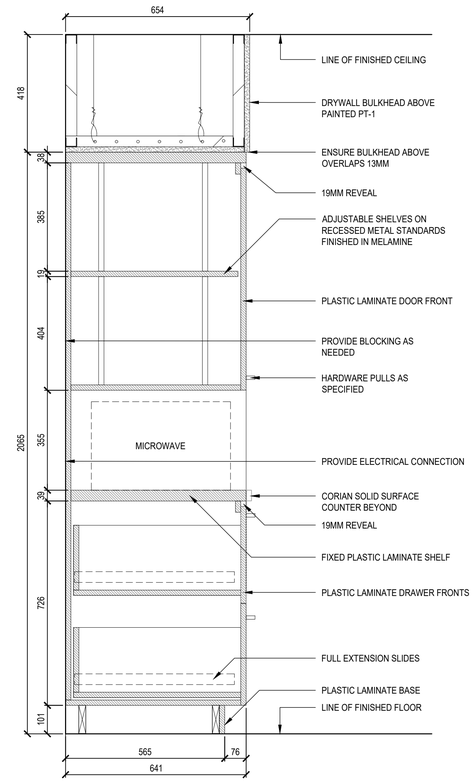
2 ID8.01 SECTION AT FRIDGE

SCALE: 1:10



3 ID8.01 SECTION AT MICROWAVE

SCALE: 1:10



4 ID8.01 SECTION AT MICROWAVE

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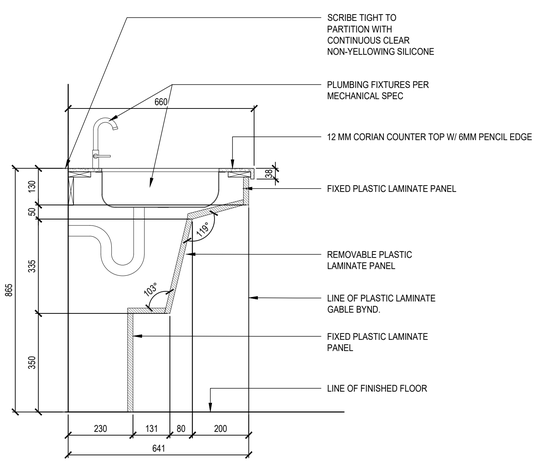
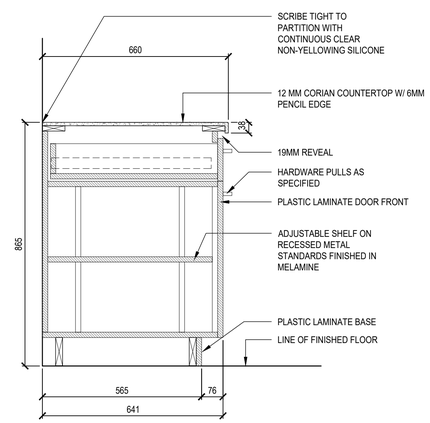


5 ID8.01 SECTION AT SINK - BARRIER FREE

SCALE: 1:10



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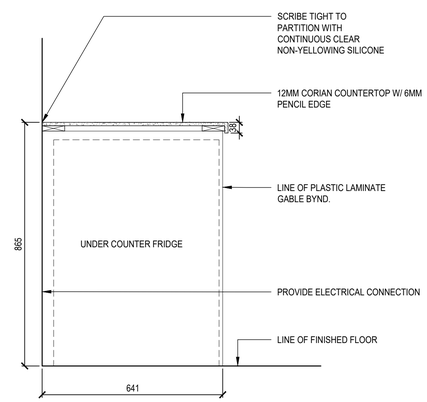

7 ID8.01 SECTION AT U/C FRIDGE

SCALE: 1:10

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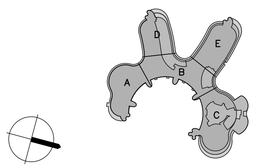

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EDWARD K. CHAN
LICENCE
6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

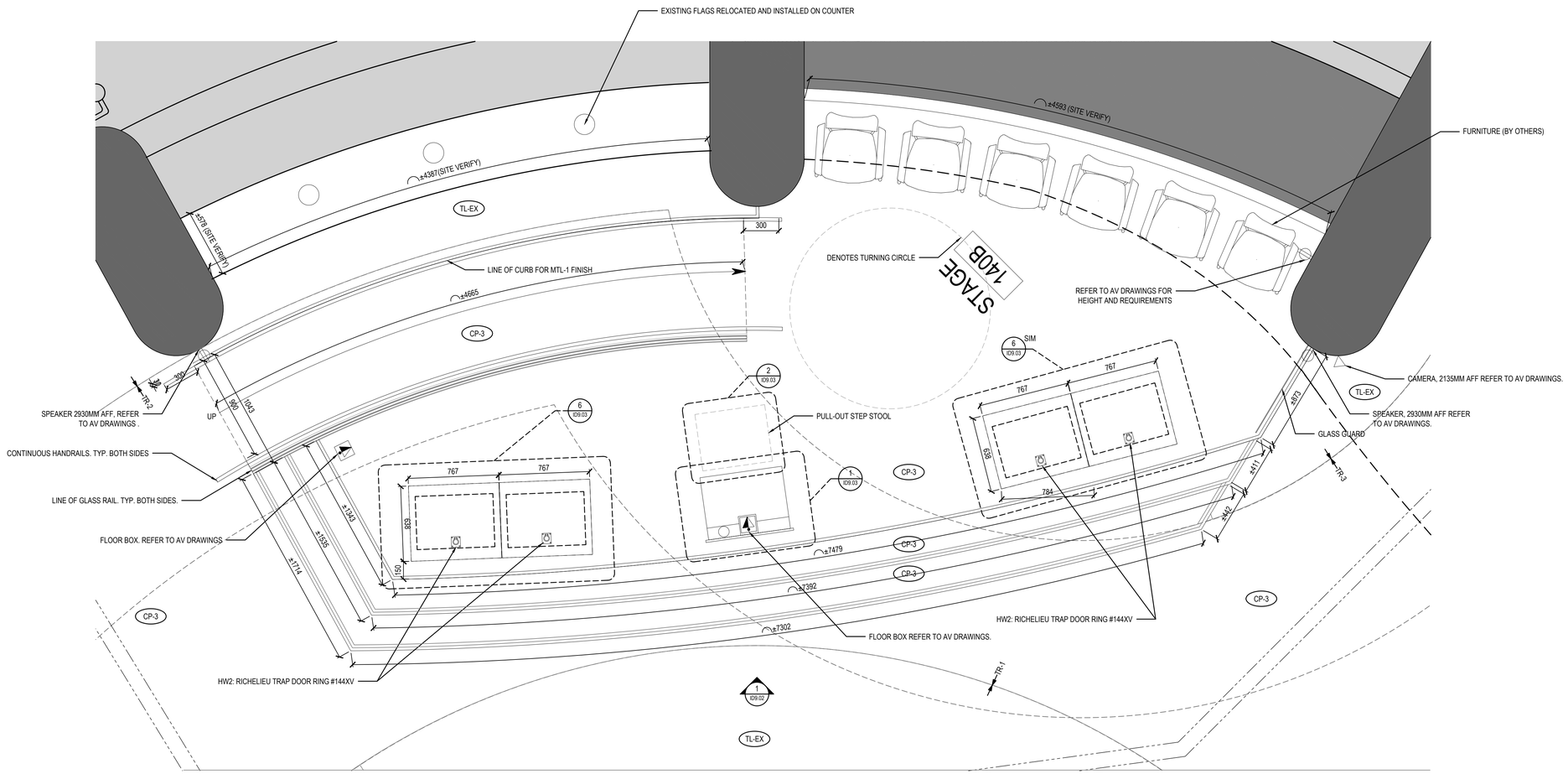
TITLE

MILLWORK SECTIONS

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	AC	JJ

DRAWING NO. **ID8.01**

REVISION NO. 6



1 ID9.01 NEW STAGE CALLOUT
SCALE: 1:20

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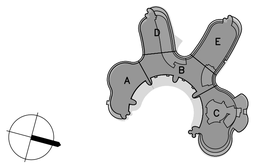

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PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

STAGE EXPANSION - STAGE CALLOUT

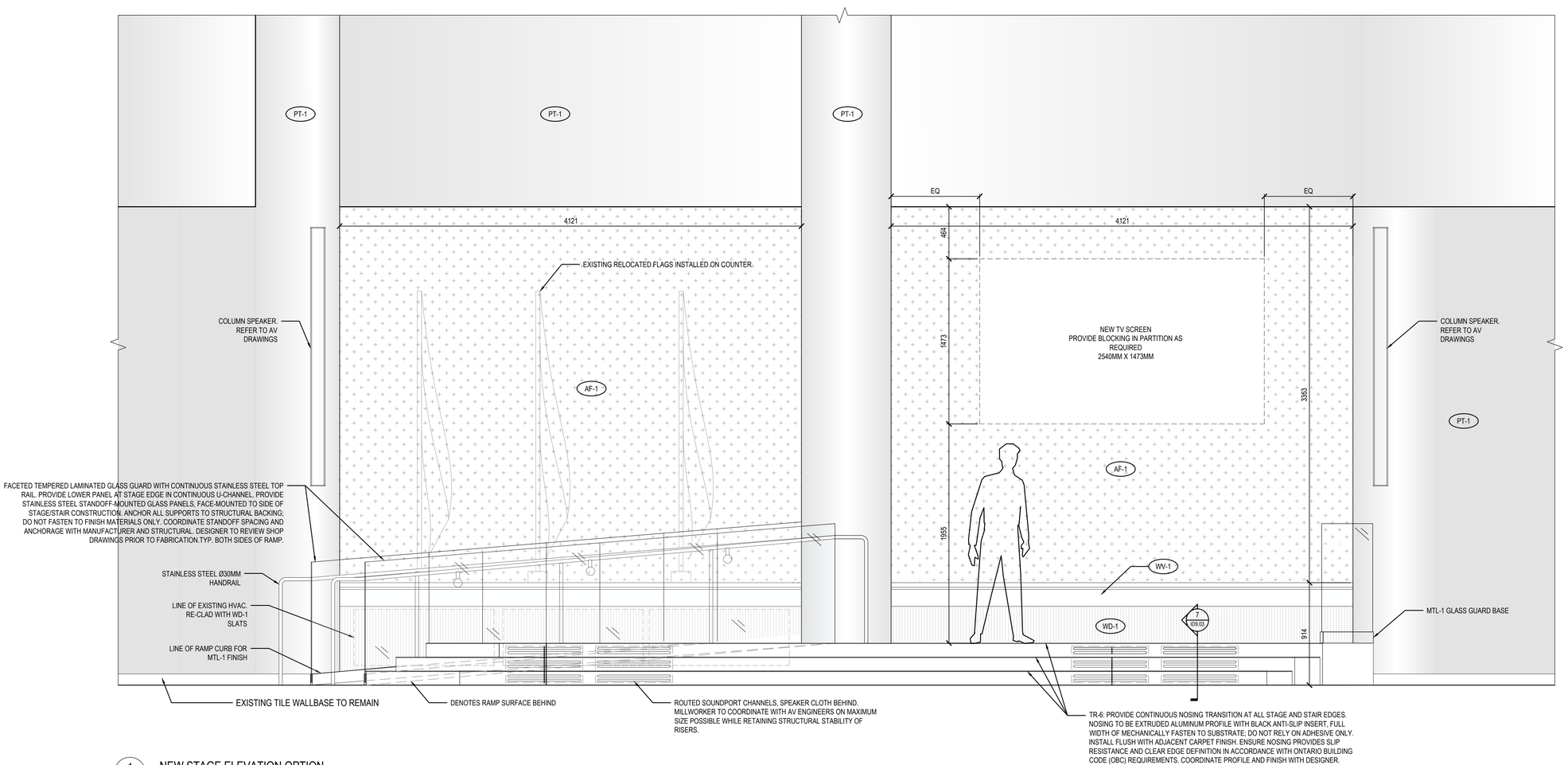
PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID9.01

REVISION NO.

6



1 / ID9.02 NEW STAGE ELEVATION OPTION

SCALE: 1:20

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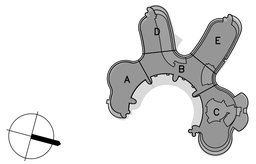
KEY PLAN



NO.	ISSUE/ REVISION	DATE
6	ISSUED FOR CONSTRUCTION	2026/05/22
5	TENDER	2026/02/24
4	BUILDING PERMIT	2026/01/16
3	100% REVIEW	2025/11/14
2	90% REVIEW	2025/06/19
1	60% REVIEW	2025/06/19

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EDWARD K. CHAN
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6740

PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

STAGE EXPANSION - STAGE ELEVATION

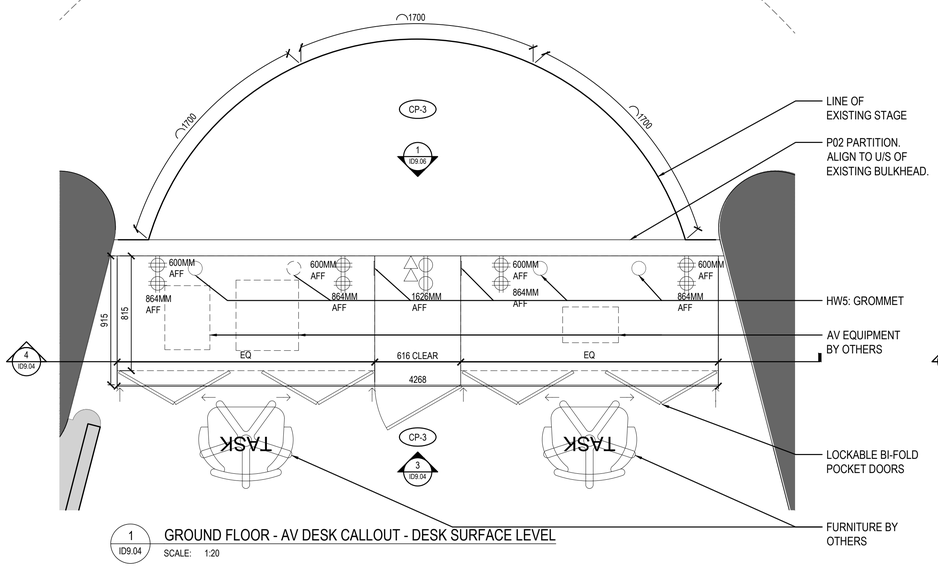
PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID9.02

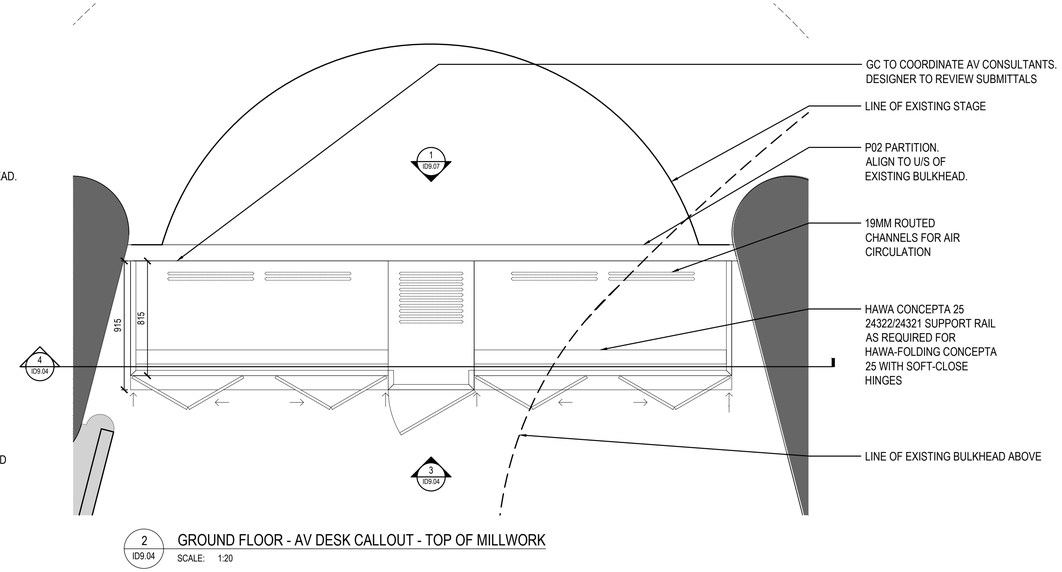
REVISION NO.

6



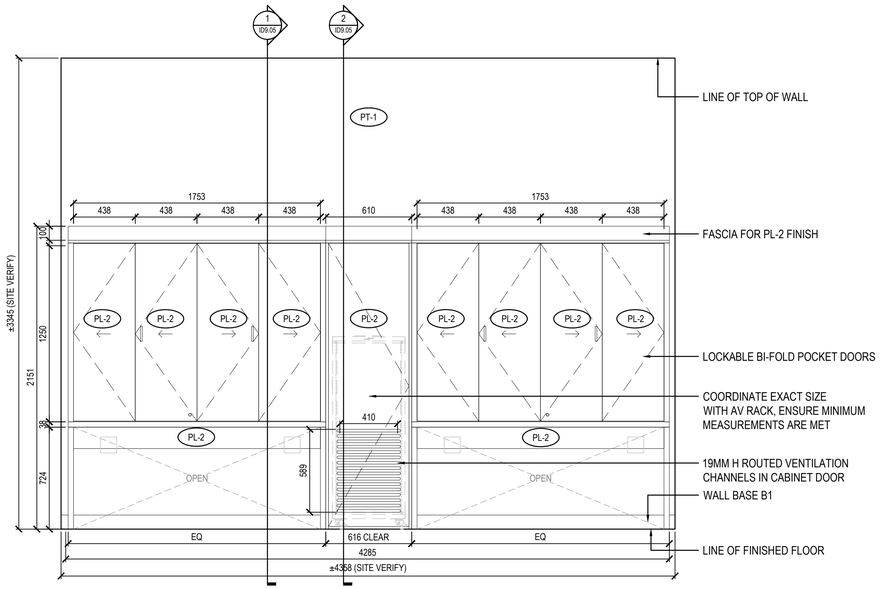
1 ID9.04 GROUND FLOOR - AV DESK CALLOUT - DESK SURFACE LEVEL

SCALE: 1:20



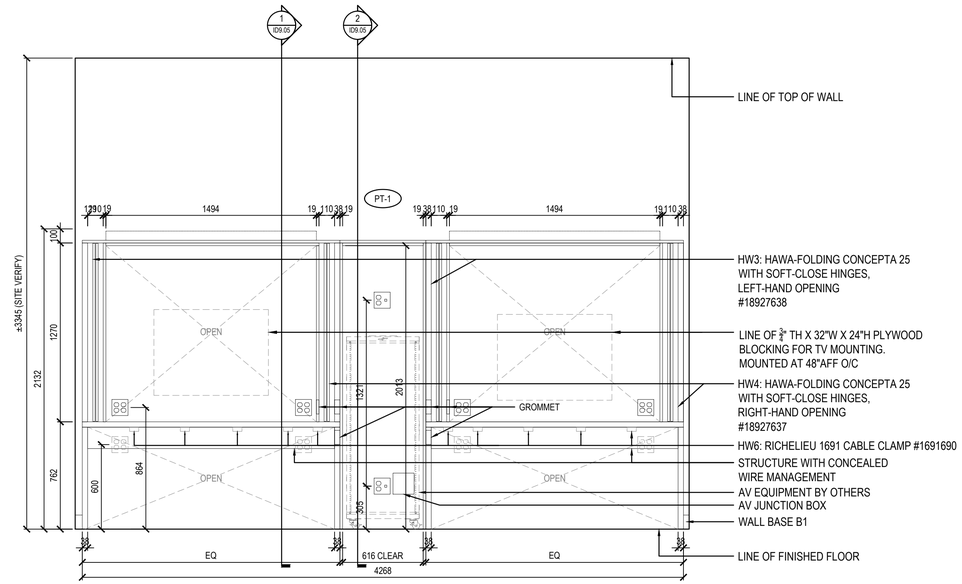
2 ID9.04 GROUND FLOOR - AV DESK CALLOUT - TOP OF MILLWORK

SCALE: 1:20



3 ID9.04 AV DESK ELEVATION - CLOSED DOORS

SCALE: 1:20



4 ID9.04 AV DESK - ELEVATION - OPEN DOORS

SCALE: 1:20

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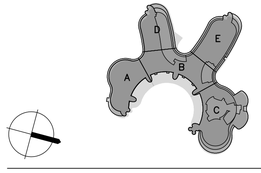

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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

STAGE EXPANSION - AV DESK & TV WALL CALLOUT & ELEVATIONS

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID9.04

REVISION NO.

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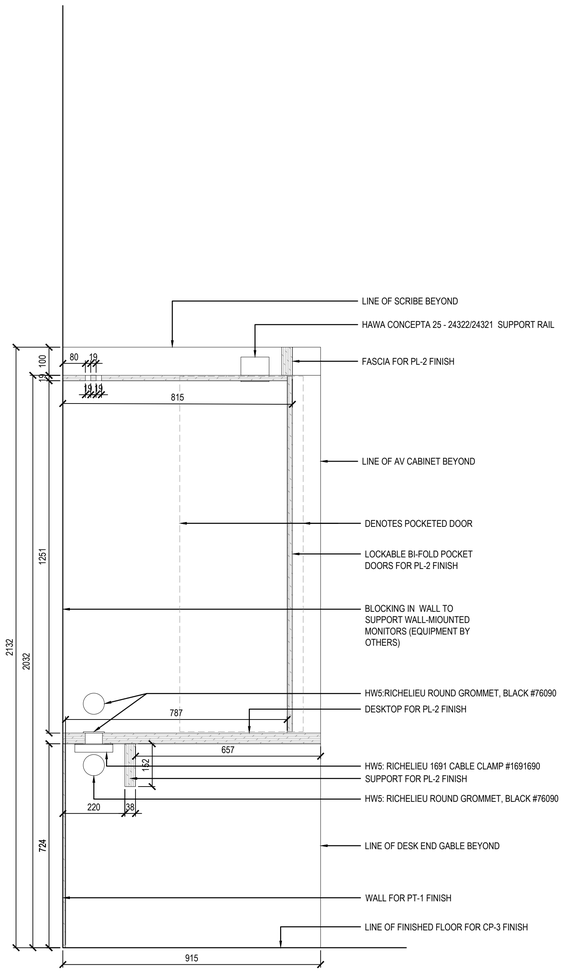
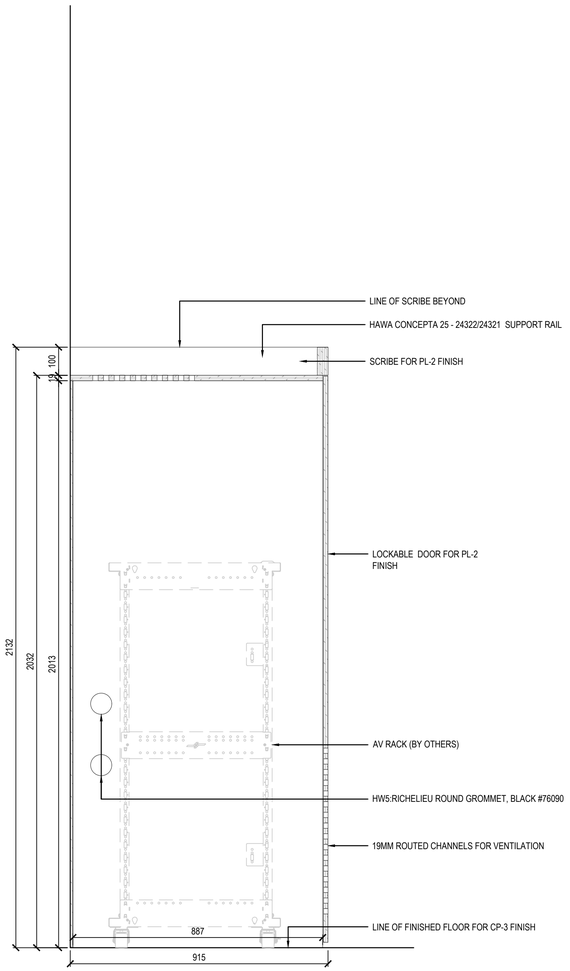


1 ID9.05 AV DESK SECTION - THROUGH DESK

SCALE: 1:10



2 ID9.05 AV DESK SECTION - THROUGH AV RACK CABINET

SCALE: 1:10

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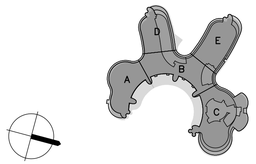

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PROJECT

YORK REGION MUNICIPALITY CENTRE

PROJECT ADDRESS

17250 YONGE STREET, NEWMARKET, ONTARIO L3Y 4W5

TITLE

STAGE EXPANSION - AV DESK MILLWORK SECTIONS

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID9.05

REVISION NO.

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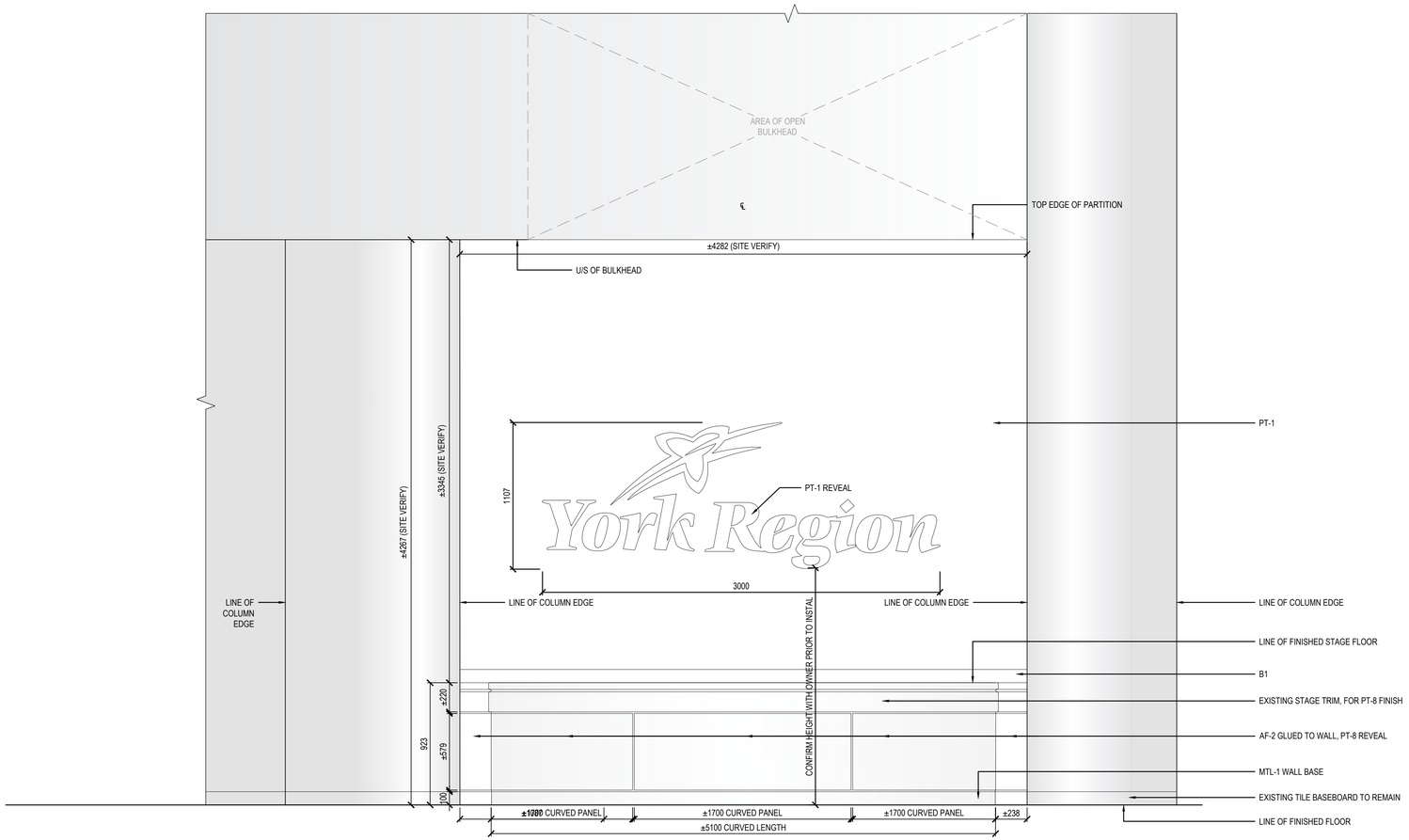

1 / ID9.06 EXISTING STAGE - NEW SIGN WALL ELEVATION

SCALE: 1:20

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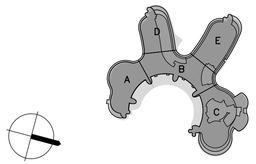

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TITLE

STAGE EXPANSION - WALL ELEVATION

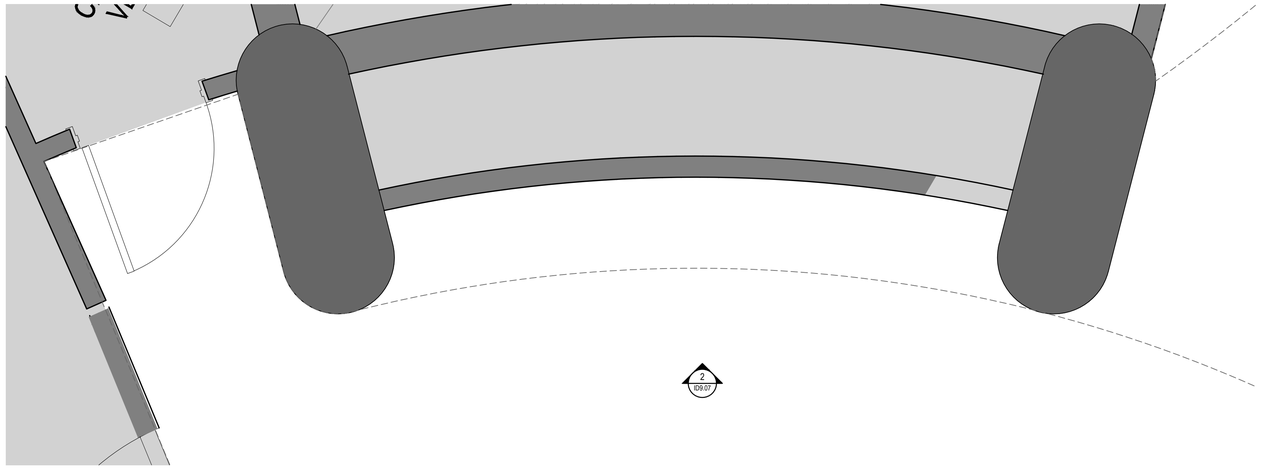
PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

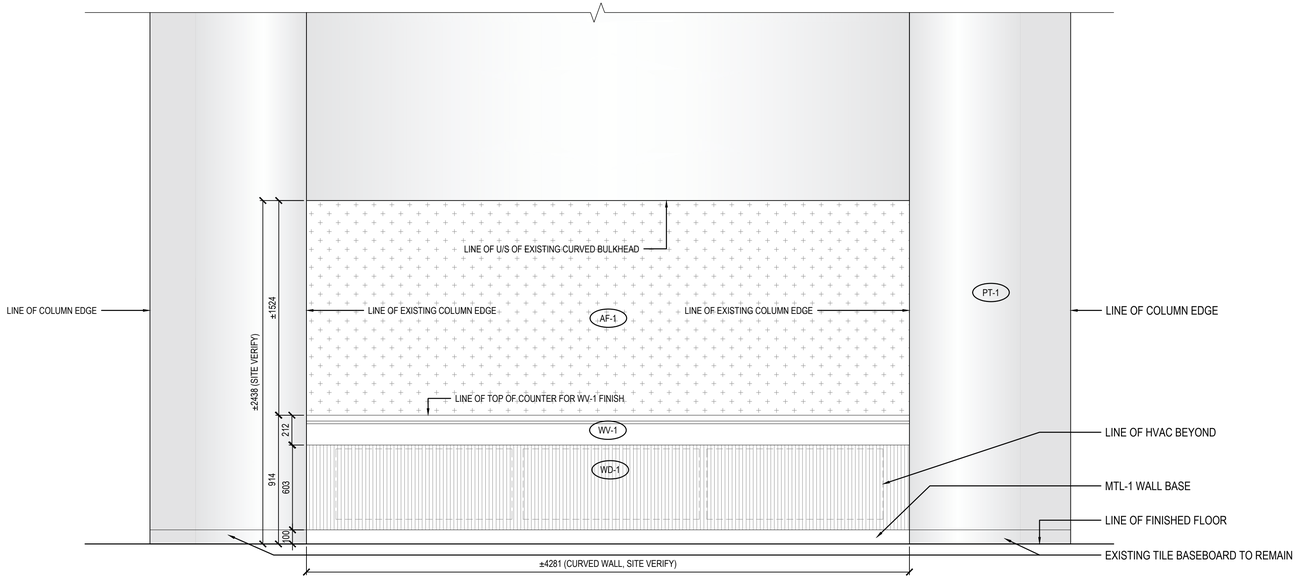
ID9.06

REVISION NO.

6



1 ID9.07 GREAT HALL COUNTER - ELEVATION
SCALE: 1:20



2 ID9.07 GREAT HALL COUNTER - ELEVATION
SCALE: 1:20

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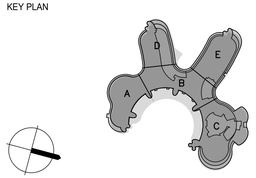

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PROJECT ADDRESS

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TITLE

STAGE EXPANSION - COUNTER CALLOUT AND ELEVATION

PROJECT NO.	DRAWN	CHECKED
B25-50-0003	RM	AC

DRAWING NO.

ID9.07

REVISION NO.

6